

GENERAL NOTES AND SPECIAL CONDITIONS:

All work shall conform to all local codes and ordinances and all other Agencies having jurisdiction.

The Contractor shall thoroughly verify all dimensions and field conditions at the job site, any and all discrepancies shall be reported to the owner, otherwise the Contractor shall bear all costs to complete the work as intended on the drawings.

The Contractor shall pay all costs associated with, and shall comply with all regulations of all Authorities required to secure all necessary permits, inspections, tests, and approvals for all trades.

The Contractor shall make all arrangements, maintain and pay all costs for temporary water and plumbing, power and lighting, and heating or ventilation as he may require to properly conduct the work of his contract. All hoisting charges, if any, shall be included in his base bid.

The Contractor is responsible for the protection and safety of all persons, existing facilities, and existing equipment at the construction site, except for damage to property or bodily injury arising from the owner's sole negligence. The Contractor shall save and hold harmless the owner's from and against all suits or claims in connection with public liability and property damage and shall defend any and all such actions and pay all expenses arising therefrom.

The Contractor shall supervise and direct the work, using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures, and for the coordination of all portions.

The Contractor shall notify in writing, and receive approval before ordering or installing items or materials which are proposed equals.

The Contractor shall provide all necessary information and/or samples to verify the suitability of the proposed item or material. Substitutions may be rejected because of quality, finish, availability or appearance.

The Contractor shall review and coordinate the scheduling of all construction with the Owner and submit a completion schedule of work with his bid documents or price proposals.

The Contractor shall review the requirements of the job site with the Owner to determine the use of areas, etc. Any related costs or changes thereto shall be included in the cost of the work.

The Contractor shall verify all drawings for coordination between trades, locate slots, sleeves, and trenches as required for mechanical trades. Provide and/or install anchors, inserts, hangers, etc., as required for various trades.

To minimize disruption of on going activity on the job site, on site storage of equipment and materials is to be kept to a minimum. Arrangements may be made with the Owner for storage of materials in a designated area.

The Contractor shall submit shop drawings of reinforcing, structural steel, details, etc., for approval before proceeding with the work. The Contractor shall check all dimensions and accept full responsibility for dimensional correctness.

REMOVAL, CLEAN-UP AND PROTECTION:

Remove all waste, refuse and debris accumulating from the construction work and cart from the premises.

The Contractor shall protect the building premises, and shall provide and maintain all necessary coverings, boards, temporary partitions and doors as required to protect all area affected by construction. The Contractor shall be held responsible for all damages caused by improper protection and shall make all necessary repairs or replacement without any additional charges to the party affected.

The Contractor shall maintain construction premises in a broom clean condition at the end of each working day.

Prior to Owner's occupancy, the Contractor shall clean all surfaces of dust, debris, loose construction material and equipment and leave all floors vacuumed clean. Remaining construction material and equipment, if any, shall be moved and temporarily secured in an area directed by the Owner.

SITE WORK:

Do not backfill against foundation walls until mortar and/or concrete have attained maximum strength, and framing or slabs which brace the wall are in place.

At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls closer than 8 feet.

If rock is encountered, the Contractor shall notify the Architect or Engineer before proceeding.

FOUNDATIONS:

All footings shall bear on undisturbed soil or rock, having a minimum safe bearing capacity of 2 tons per square foot.

All footings shall be formed to meet sizes indicated on drawings and details.

Elevations of footing bottoms shown on drawings are at the highest permissible elevations. Actual footing bottoms may be lower if adequate bearing material is not found at the footing depths shown on drawings.

Where footings are stepped, bottoms shall be stepped not more than 2 feet vertical to 4 feet horizontal,

Solid backfill under floor slabs shall be a porous, granular material such as crushed stone or gravel which contains fine material passing a #200 sieve.

Fill below slabs on ground shall be placed in lifts not exceeding 12 inches in thickness and compacted to 95% of the Modified Standard Density as per ASTM D-1557.

CONCRETE:

All concrete work, materials, details and construction methods shall be in strict compliance with the provision of the "Specification for Structural Concrete for Buildings", ACI 301, and "Building Code Requirements for Reinforced Concrete", AC 1318, of the American Concrete Institute, latest edition.

No concrete shall be poured subject to freezing conditions or on frozen ground.

Slab on grade shall be 4" thick with WWF 66 W1.4 over 4" of 3/4" gravel. Provide 6 mil. polyethylene vapor barrier under slab. Slab shall be finished in accordance with ACI standards 318, 304, and 301.

CONCRETE: (continued)

All reinforcing bars shall be deformed billet steel bars conforming to ASTM A615, grade 60. Ties and stirrups may be grade 40.

Reinforcing steel shall be placed to provide the following minimum concrete cover:

- Concrete cast on soil 3" clear
- Concrete exposed to earth or weather 2" clear

Concrete for poured in place construction shall be an air-entrained, normal weight stone aggregate mix achieving a minimum compressive strength of 3,000 psi at an age of 28 days. Concrete for floor slabs shall achieve a compressive strength of 4,000 psi at 28 days.

Vertical construction joints in building foundation walls shall be located at not more than 30 feet on centers and all reinforcing shall run continuously through the joint.

Concrete slabs on ground shall be placed in alternate panels not exceeding 900 square feet in area nor 30 feet in length. Slab construction joints shall be doweled and keyed.

Horizontal construction joints are not permitted unless shown on drawings.

MASONRY:

Concrete block shall be of the following types:

- ASTM C-90, Grade N-1, -ASTM C-145, Grade N-1

All mortar shall be ASTM C-270, type S.

Brick and masonry walls shall conform to the "Building Code Requirements for Masonry Structure" (ACI 530-92/ASCE 5-92/TMS 402-92) and "Specifications for Masonry Structures" (ACI 530.1-92/ASCE 6-92/TMS602-92) latest edition. All masonry units shall be placed in running bond, except where indicated.

The Contractor shall store all units off ground to prevent contamination. Cover materials to protect from the elements.

No air-entraining admixtures or antifreeze compounds, such as calcium chloride, shall be added to mortar.

The first block course on footing shall be filled solid with concrete.

Vertical control joints shall be placed at a maximum distance of 50 feet on center for straight walls. Control joints shall be constructed using sash blocks and dur-o-wall preformed regular rapid control joints (or equal of extruded rubber). Wall reinforcing shall be discontinuous at joints.

Steel lintels shall have minimum bearing of 8". Bearing points shall have grouted blocks for three courses below lintel.

Concrete masonry unit construction shall have a minimum compressive strength F'M of 1000 psi determined by the unit strength method. Grout shall have a min. compressive strength of 2,000 psi.

Joint reinforcing shall be dur-o-wall, or equal, welded truss type galvanized wire. Reinforcing shall have preformed units at corners. Other masonry reinforcing shall be of the type shown on plans.

Fill block cores solid at vertical reinforcing and dowels below bearing points of steel beams or joists. At embedded items such as anchors or bolts, and at all changes in wall thickness or type of construction.

REINFORCING STEEL:

Reinforcing steel shall be accurately installed to the required elevation and chaired or securely tied in place so as to prevent displacement during concrete placement.

Reinforcing bars noted continuous shall be lapped at splices and hooked at non-continuous ends.

Refer to other sections for additional information.

LUMBER:

All framing shall be done in accordance with the latest edition of "National Design Specifications for Wood Construction" of the American Forest and Paper Assoc. (ANSI/NFPA NDS, latest edition).

All lumber materials used in the building shall be good, sound, dry materials free from rot, large and loose knots, shakes and other imperfections whereby the strength may be impaired and of sizes indicated on drawings.

All framing members (joists, headers, girders, studs, plates, etc.), shall comply with the minimum specifications for HEM-Fir No. 1 or Douglas Fir Larch No. 2 (unless indicated otherwise), with the following basic stress values:

	HEM-Fir No. 1	Douglas Fir Larch No. 2
Flexure Fb =	950 psi single	875 psi single
Shear Fv =	75 psi	95 psi
E =	1,500,000 psi	1,600,000 psi

Pressure preservative treatment for wood shall be approved by local authorities having jurisdiction.

Provide ledger, blocking, nailer, and rough framing hardware, as required.

All lumber shall bear visible grade stamping.
All beams, joists and rafters shall be set with natural crown up.

Provide double rafters and headers around all roof skylights or any openings larger than spacing of rafters/floor joists, etc., unless otherwise noted on Drawings.

Provide "X" bridging or solid blocking at mid-span of all roof rafters/floor joists spanning more than 9'-0". Bottom ends of bridging shall not be nailed until after sheathing is installed.

Metal cross bridging shall be galvanized steel as manufactured by Teco, Simpson or approved equal, and installed in accordance with manufacturers directions.

Connection hardware shall be galvanized steel of the type gauge (min. 18 ga.) or size noted on drawings, by Simpson Strong Tie Co., or approved equal. Provide joist, rafter and truss hangers for all members not supported by direct bearing. Install and nail hangers in strict accordance with Manufacturer's recommendations.

Wood plates and sills in contact with concrete/concrete block foundation walls and concrete slabs shall be pressure treated wood.

Provide solid bridging at midheight of all wall studs over 9'-0" height.

All headers and trimmers shall be double members, minimum, unless otherwise noted. Provide double member posts at edges of all openings in stud bearing walls. Below bearing points of double, triple or more framing members or posts, provide solid or built-up, spiked post equal in width to nominal width of member above.

Provide double joists under all partition walls parallel to the joist span and extending at least one half the span.

LUMBER: (continued)

Plywood roof/wall sheathing shall be American Plywood Association Rated Sheathing identification index 32/16, 1/2" thick (min.), exposure 1, (interior with exterior glue). Install with long dimension across supports and with panel continuous over two or more spans. Panel and joints shall occur over supporting framing. Leave 1/16" space at all plywood panel end joints and 1/8" space at all panel joints. Provide one panel clip per span along all edges. Protect sheathing from exposure to weather if roof covering material is not promptly installed.

Fasten plywood roof sheathing with 6d nails spaced 6" o.c. along supported edges and 12" o.c. along intermediate supports.

Fasten plywood floor sheathing with 8d ring or screw shank nails spaced 6" o.c. along supported edges and 12" o.c. along intermediate supports.

Where filth beams are required, provide steel plates of A36 steel, punched for 1/2" dia. bolts at 12 inches on centers, staggered, 1-1/2 inches from the top and bottom of beam.

LAMINATED VENEER LUMBER:

Laminated veneer lumber (LVL) shall be "Micro-Lam" manufactured by Truss Joist Corp. or Engineer's approved equal. All LVL's bear a stamp identifying the name and plant of the manufacturer, the grade, the National Research Board report number and the Quality Control Agency.

LVL's shall be protected from weather while in storage and shall be carefully handled to prevent damage.

Multiple LVL members shall be fastened together with a minimum of two rows of 16d nails at 12" o.c. staggered.

MISCELLANEOUS CARPENTRY:

Complete all rough carpentry and related items of work indicated on the drawings and generally described herein.

Furnishing hollow metal door frames hardware and trim occurring in unit masonry walls for installation hereunder are included in the work of hollow metal work

Materials for rough carpentry throughout shall be sound, flat, straight, well seasoned, air dried to a moisture content not exceeding 10%. The grades of materials shall be as defined by the rules of the recognized associations of lumber manufacturers producing the materials herein specified. Kiln dried lumber meeting the moisture content of air dried lumber may be used in lieu of air dried. Wood supporting or contacting all finish carpentry shall be of the type and dryness that will not affect the finish.

Rough hardware: commercial quality including bolts, nails, spikes, screws, anchor bolts, expansion shields and other items which are required to assemble or secure the work shown or specified herein.

Complete all items of finish carpentry work including all metal finish hardware, identifying devices and all other items furnished by other and indicated on the drawings and generally described herein.

THERMAL AND MOISTURE PROTECTION:

Foundation to be waterproofed with an approved type, viscous asphalt base coating, and applied in accordance with manufacturers recommendation.

All windows, doors are to be weather stripped and caulked.

All sealants are to be silicone, colored to match surrounding material.

All flashing shall be non-ferrous metal unless otherwise noted. Fabric flashing may only be used with the written approval of the Architect.

All roof and roof-to-wall joints shall be continuously flashed.

INSULATION:

Complete all building insulation work as indicated on drawing and required by Building Code including but not limited to:

-Sound attenuation Batt insulation and Thermal Batt insulation similar or equal to "Owens Corning".

WINDOWS & DOORS:

All glazing in doors, fixed side lights and interior partitions where such glazing extends to within 18" of floor level shall be shatterproof type glass, tempered or laminated as per code requirements.

All new windows indicated on drawings shall be by Andersen, Marvin, or approved equal. All operable units shall be provided with insect screens.

HARDWARE:

The scope of work includes the furnishing of all labor, materials, templates, equipment, and services required or necessary for, or incidental to the delivery of all "finishing hardware" as shown on the drawings or schedules and as described in the specifications for hardware and by actual conditions on the site.

Finishing hardware shall include butts, locksets, pulls, push plates, kick plates, door holders, flushbolts, panic devices, door stops, thresholds and all other items necessary to make a complete job in every respect. Finish shall be duronodic bronze. All lock hardware to be heavy duty lever Sargent & Co. Cylinders to be Sargents maximum security system or equal. Threshold shall be as manufactured by "Zero" or approved equal. The Contractor shall provide catalog cuts for all items prior to ordering hardware.

FINISHES: (continued)

Accessories shall include all bolts, inserts, clips, attachments, brackets, fastenings, hangers and all other material (other than structural members), necessary for complete installations of proper sizes, number with which they are used.

PAINTING:

All Painting and products shall fully comply with the latest regulations (Federal, State, and Local) regulating VOC emissions.

Complete all finish painting work and other described herein and as indicated on drawings.

The following schedule shall be a supplement as a guide for complete painting and finishing of these portions or items of this building not specified in this finish schedule and shall include closet spaces, exposed metals, exposed pipes, returns, reveals, soffits, haunches, columns, beams, and the like, which form a part of the particular surface scheduled.

The Contractor shall inspect all surfaces and provide all preparation work necessary in order to receive new paint finish as indicated on the drawings.

All painting materials shall be used only in strict conformance with the manufacturer's latest printed specifications and instructions.

Paint shall be applied by skilled tradesmen and shall be free of all runs, brush marks, sags, holidays and other defects, which shall be rejected.

Edges adjoining other materials or color shall be sharp and clean, without overlapping.

Before painting work is to begin, arrangements shall be made for proper ventilation and lighting of all areas.

Proper precautions shall be taken to protect all areas from paint drips, splashes, over spray, etc. All glazing shall be masked on both sides. The Contractor shall be responsible for cleaning and removing of same.

Paint coloring shall be of the same intensity in adjacent areas and shall be such that it shall completely hide and cover the substrate.

All colors to be selected by the Architect and approved by the owner.

MECHANICAL/ELECTRICAL/PLUMBING

The Contractor shall perform all mechanical work in accordance with the New York State Building Code, O.S.H.A., pertinent NFPA codes, SMACNA and the rules and regulations of all local and state authorities having jurisdiction. The contractor shall obtain all necessary permits and pay associated fees, and shall provide owner with certificates of inspection.

The contractor shall perform a complete balancing of the mechanical system.

The Contractor shall perform all electrical work in accordance with all state and local codes and regulations and shall obtain all necessary permits and pay associated fees. All work shall comply with the current National Electric Code.

The Contractor shall perform all plumbing work in accordance with all state and local codes and regulations and shall obtain all necessary permits and pay associated fees. All work shall comply with the current National Plumbing Code.

SHOP DRAWINGS:

The Contractor shall check and verify all field measurements and assume responsibility for their accuracy. He shall submit with such promptness as to cause no delay in his own work or in that of any other Contractor, three copies, checked and approved by him, of all shop drawings and schedules required for the work of various trades. The Architect/Engineer shall check and approve such schedules and drawings only for conformance with the information given in the drawings, and for design and aesthetic considerations only.

The Contractor shall make any corrections required by the Architect/Engineer. The Architect's/Engineer's approval of drawings or schedules shall not relieve the Contractor from responsibility for deviations from drawings or specifications, unless he has in writing called the Architect's/Engineer's written approval, nor shall it relieve him from the responsibility for errors in shop drawings or schedules.

ENERGY CODE:

THE FOLLOWING ANALYSIS IS PERFORMED IN ACCORDANCE WITH CHAPTER R4 OF THE NEW YORK STATE ENERGY CONSERVATION CODE AND THE FOR ALL RESIDENTIAL BUILDINGS CONTAINING ONE OR TWO DWELLING UNITS.

BUILDING DATA:

LOCATION: 28 GANUN DR - OSSINING -NY
CLIMATE ZONE: 4
HEATING SYSTEM: NATURAL GAS
DWELLING UNIT: 1 1/2

COMPLIANCE				
COMPONENT	R-VALUE	U-FACTOR	REQUIREMENT	RATING
FENESTRATION	N/A	0.27000	0.27	PASS
SHGC	N/A	0.40	0.40	PASS
CEILING	49	N/A	49	PASS
WOOD FRAME WALL	21	N/A	21 Int. or 20+5 or 13+10	PASS

LEGEND

	EXISTING PARTITION/CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION
	CONSTRUCTION TO BE REMOVED
C.T.	CERAMIC TILE
R.R.	ROOF RAFTERS
O.C.	ON CENTER
CLG.	CEILING
JSTS.	JOISTS
HGT.	HEIGHT
C.S.V.	CRAWL SPACE VENT
TYP.	TYPICAL
E	EXISTING
R	RELOCATED
	HARD WIRED CEILING MOUNTED CARBON MONOXIDE DETECTOR
	HARD WIRED CEILING MOUNTED SMOKE DETECTOR
\$	SINGLE POLE SWITCH
\$3	THREE WAY SWITCH
	STANDARD DUPLEX ELECTRICAL OUTLET
	DEDICATED OUTLET
	GROUND FAULT INTERRUPTER ELECTRICAL OUTLET
	WATERPROOF OUTLET
φ	CAT 7
	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
	WATERPROOF CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
	THERMOSTAT
	ANIT- FREEZE HOSE BIBB
	SPOTS

FINISHES:

Gypsum Wallboard:

Complete all gypsum wallboard work including walls, partitions, ceilings, fireproofing, sound insulation, taping and finishing.

Drywall materials shall satisfy the requirements of the American National Standards Institutes Specifications for the application and finishing of wallboard ANSI A971. The Contractor shall be responsible for using compatible products for complete construction assembly.

Materials shall be by United States Gypsum or approved equal. Provide Durlock Cement Board by United States Gypsum, or approved equal at shower walls and ceiling.

Sound insulated and fiterated partitioning shall be caulked at perimeters and provided with building standard fiterated and sound attenuating insulation securely fastened to stud framing. At these partitions, back-to-back electrical junction boxes are not permitted.

All drywall partitioning shall be plumb, level, true and straight, properly braced and rigid. Surface shall be smooth and free from flaws and defects in a ready to paint condition. All taping and spackling shall be sanded and prepared so that location of joints and blemishes cannot be detected after wall has been painted.

Unless noted otherwise use 1/2" thick boards. Use water resistant wallboard in lavatories, toilets and elsewhere at wet areas.

Fasteners: Drywall screws, type "S", length as required for wallboard application.

Corner beads: "Dur-A-Bead" corner reinforcement.
Control Joints: No. 093, 1/4" opening, 7/16" deep.
USG Joint Compound: Topping.

USG Joint Compound: Taping.

NOTE:

PLANS ARE IN ACCORDANCE WITH THE 2020 INTERNATIONAL RESIDENCE CODE (IRS)

• These plans are not valid for a building permit unless originally signed and sealed by the Architect.
• These plans are the property of Gemmola & Associates Architects/Planners. Any use or reproduction in whole or part without the written authorization of Gemmola & Associates Architects/Planners is prohibited. Any unauthorized use of these plans without proper authorization will be responsible to compensate the Architect.
• The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
• The Architect is not responsible for Construction Phase. Administration of the construction shall be the responsibility of the Owner.
• The information shown on this drawing is purported to be accurate but not guaranteed.
• Cauting conditions (if applicable) should be verified in the field.
© 2022 Gemmola & Associates, Architects/Planners. All Rights Reserved

SPECIAL NOTES

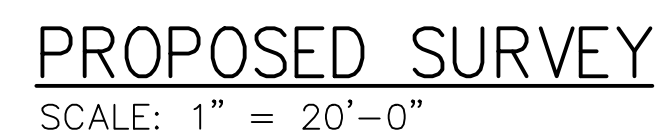
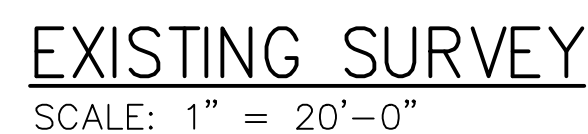
REV.	NO.	BY	DATE	DESCRIPTION



drawing title general notes	date: 01/23/23	as noted	scale: as noted
	drawn by: Adrian Venuito	project no: 22-015	sheet: 05
project: proposed alteration/addition for: Adrian Venuito Residence 28 Ganun Dr - Ossining - NY			
gemmola & associates architects/planners 317 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204			

drawing no.

G-101



ZONING TABULATION

OSSINING

(EXISTING LOT)

RESIDENTIAL TYPE: ONE-FAMILY

ZONING DISTRICT: R-15

RESIDENCE ZONE STANDARDS	PERMITTED	EXISTING	PROPOSED
LOT AREA: (SQUARE FOOT)	15,000 S.F.	± 14,400 S.F.	± 14,400 S.F.
BUILDABLE LOT AREA	N/A	N/A	N/A
FRONT YARD:	30'	30'	30'
SIDE YARD 1:	14'	± 21'-0"	± 21'-0"
SIDE YARD (BOTH):	30'	56'	56'
REAR YARD:	32'	34'	24"
LOT WIDTH:	90'	N/A	N/A
LOT DEPTH:	120'	N/A	N/A
BUILDING HEIGHT:	2.5 STORIES	2.5 STORIES	2.5 STORIES
BUILDING COVERAGE:	35'	N/A	N/A
ACCESSORY BLDG HEIGHT:	N/A	N/A	N/A
ACCESSORY BLDG SIDE YARD:	N/A	N/A	N/A
ACCESSORY BLDG REAR YARD:	N/A	N/A	N/A

These points are not valid for a building permit unless originally signed and noted by the Architect.

These plans are the property of Genselmo & Associates Architects/Pioneers. Any use or reproduction in whole or part without the written authorization of Genselmo & Associates Architects/Pioneers is prohibited. Any use of the information contained in these plans without prior written permission of Genselmo & Associates Architects/Pioneers is prohibited. The Architect's construction documents will be responsible to compensate the Architect.

The construction documents do not indicate inside/outside the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.

The Architect is not responsible for Construction Phase. Administration of the construction contract is the responsibility of the Owner.

A ceiling construction of 1" (approximately) shall be verified in the field.

© 2022 Genselmo & Associates, Architects/Pioneers. All Rights Reserved.

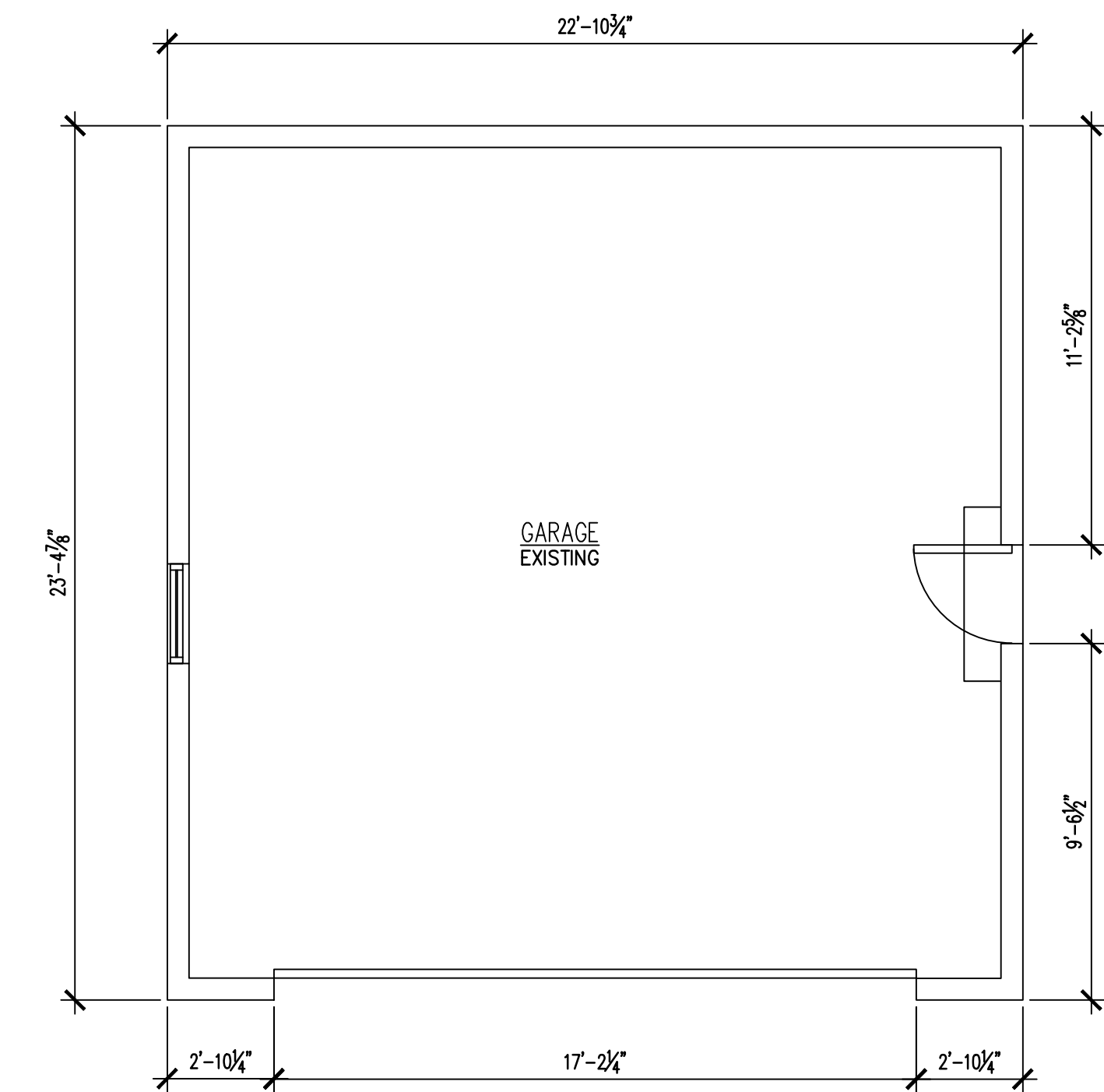
SPECIAL NOTES

[illegible]

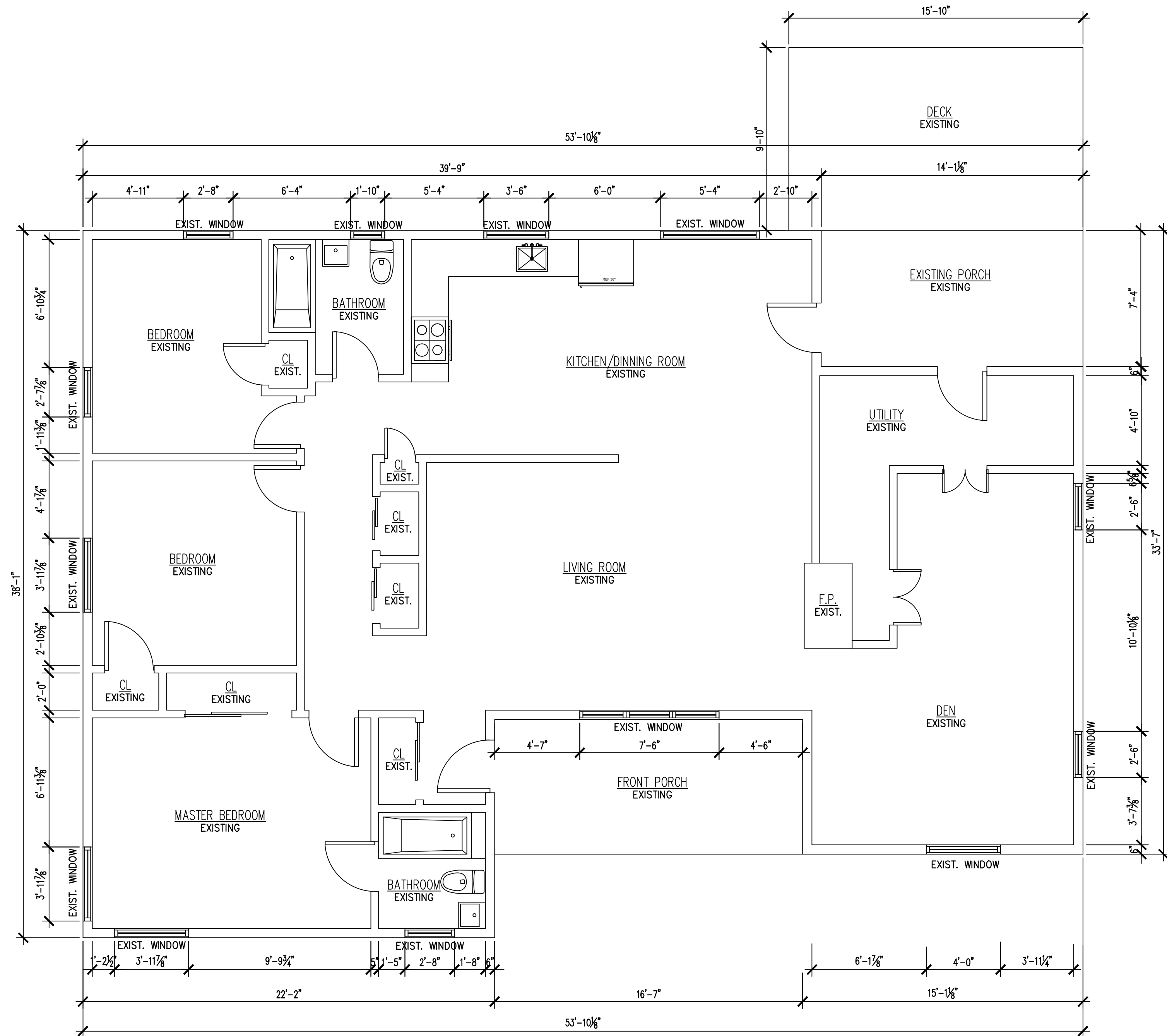
drawing title: SURVEY	
project: proposed alteration/addition for: Adrian Venuto Residence	
date: 01/23/23	scale: as noted
drawn by: SA	project no.: 22-015

drawing no.

SY-101



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



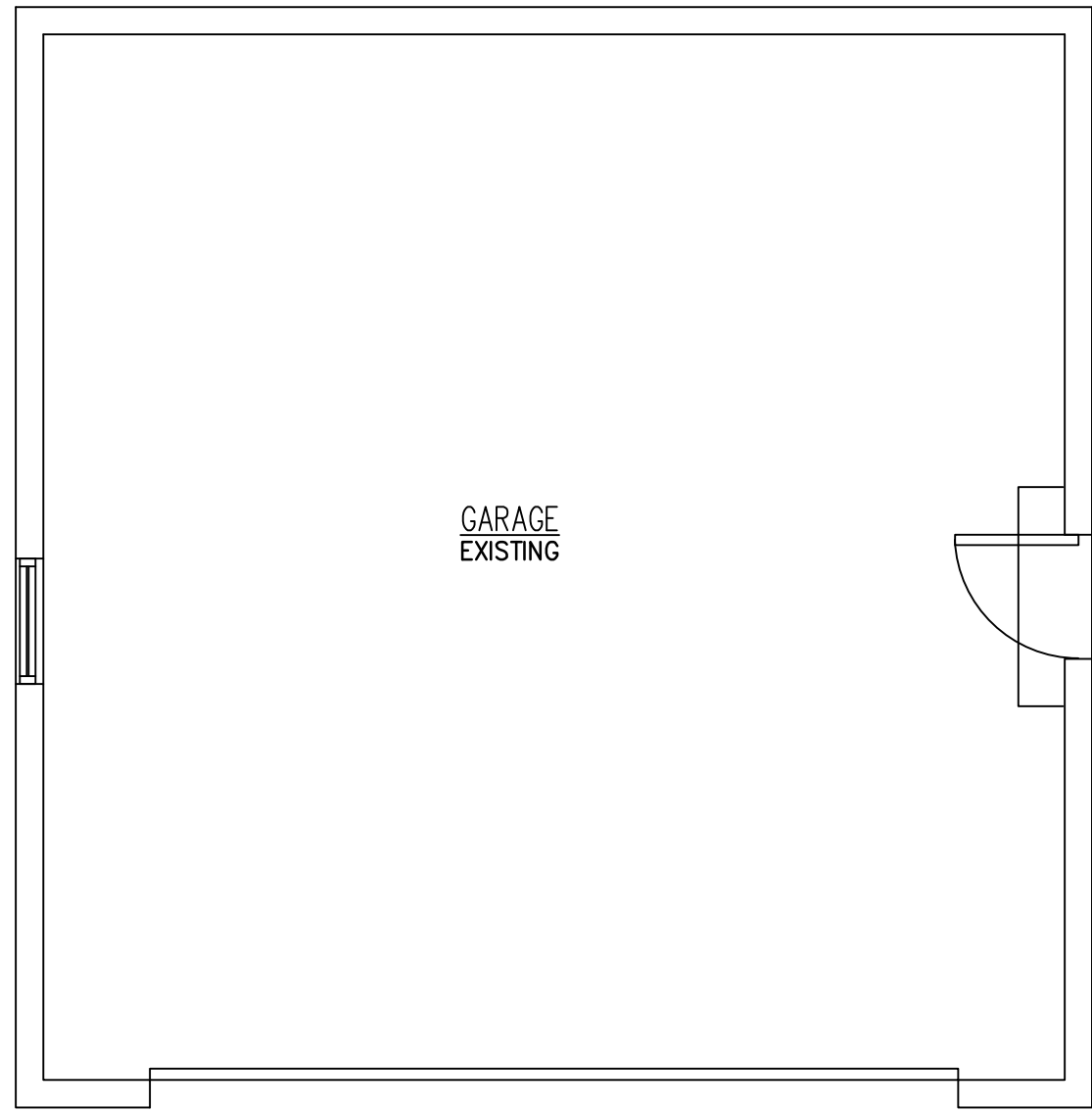
These plans are not valid for a building permit unless originally signed and sealed by the Architect.
These plans are the property of Gemmola & Associates Architects/Planners. Any use or reproduction in whole or part without the written authorization of Gemmola & Associates Architects/Planners is prohibited.
The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
The Architect is not responsible for Construction Phase. Administration of the construction process shall be the responsibility of the Owner.
The information shown on this drawing is for informational purposes only and is not to be used for construction without the written consent of the Architect.
© 2023 Gemmola & Associates Architects/Planners. All Rights Reserved.

SPECIAL NOTES

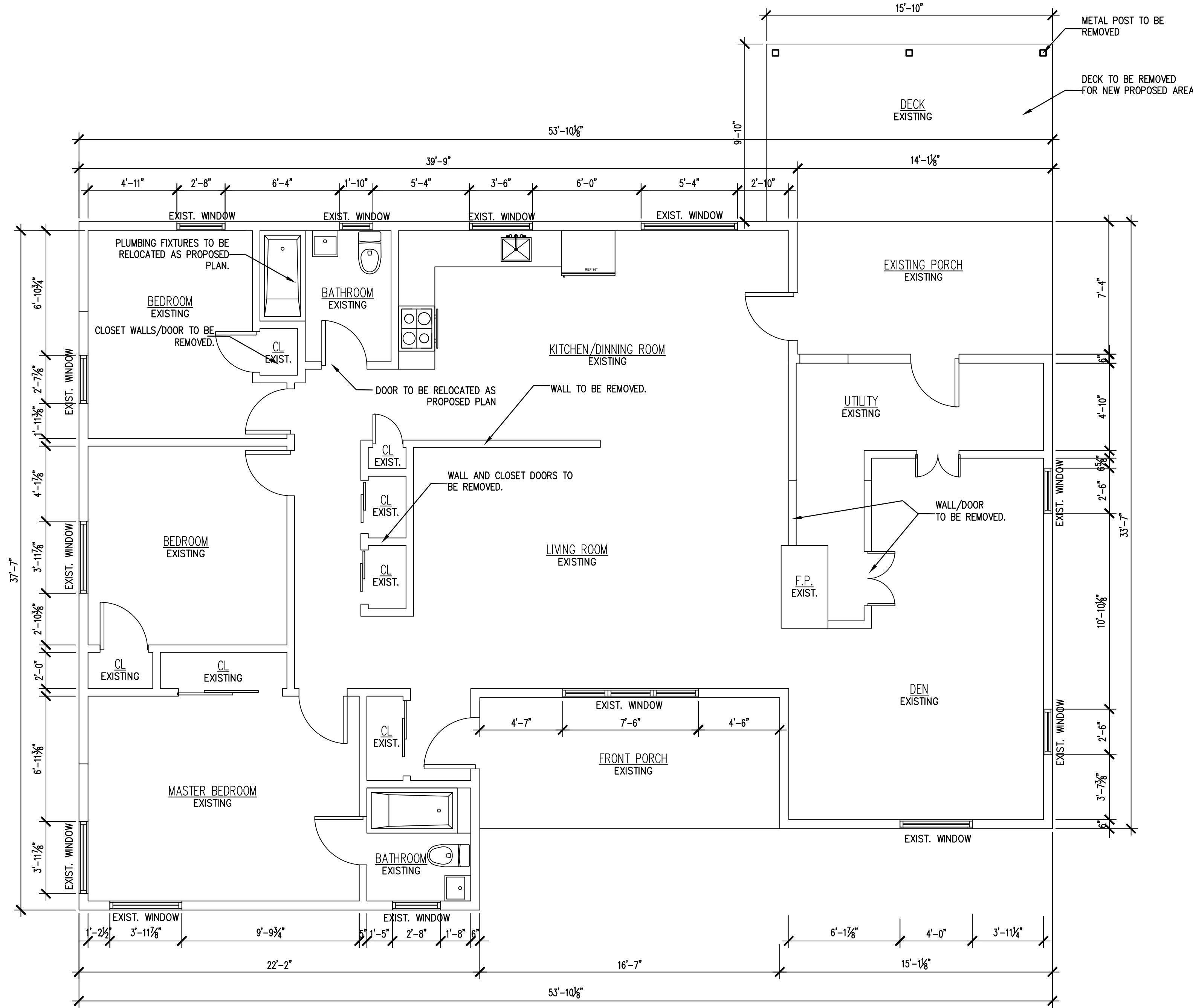
Rev.	No.	By	Date	Description



drawing title: existing conditions	date: 01/23/23	scale: as noted	SA 22-015
project: proposed alteration/addition for: Adrian Venuto Residence 28 Conun Dr - Ossining - NY	drawn by: project no.	architects/planners: gemmola & associates	862-0202 tel. (914) 862-0204 fax (914) 862-0204



DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



These plans are not valid for a building permit unless originally signed and sealed by the Architect.
One set for the construction of this building only shall remain on the plans.
The Architect shall not be responsible for the construction of this building or for the reproduction in whole or part without the written authorization of Gammola & Associates.
The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
The Architect is not responsible for Construction Phase. Administration of the construction shall be the responsibility of the Owner.
The information shown on this drawing is purported to be accurate but not guaranteed.
Existing conditions (if applicable) should be verified in the field.
Do not scale drawings.
© 2022 Gammola & Associates, Architects/Planners, All Rights Reserved.

SPECIAL NOTES

rev. no.	by	date	description



drawing title: demolition floor plan	date: 01/23/23	scale: as noted	drawn by: SA	project no.: 22-015
project: proposed alteration/addition for: Adrian Venuito Residence 28 Ganun Dr - Ossining - NY	architects/planners gammola & associates 317 elwood avenue, Hawthorne, New York 10532 tel. (914) 862-0202 fax (914) 862-0204			

drawing no.

D-101

WINDOW SCHEDULE					
WINDOW TAG	SIZE	TYPE	HEADER	SPECIFICATION	NOTES
W-1	45" X 48"	DOBLE HUNG	SEE TABLE	ANDERSEN WDH3846 ♦	EGRESS WINDOW/ CUSTOM SIZE TBD BY OWNER
W-2	45" X 48"	CASEMENT	SEE TABLE	ANDERSEN	CUSTOM SIZE/ TBD BY OWNER
W-3	76" X 36"	CASEMENT	SEE TABLE	ANDERSEN WDH3846 ♦	CUSTOM SIZE/ TBD BY OWNER

- WINDOW NOTES:**
- ALL WINDOW FINISHES TBD BY CLIENT, GC TO COORDINATE
 - ALL WINDOW HEADER HEIGHTS TO MATCH DOOR HEIGHTS UNLESS OTHERWISE NOTED.
 - ALL WINDOWS ARE TO BE ANDERSEN OR EQUAL WINDOWS OF OPERATION SHOWN PROVIDE FULL RANGE OF COLOR CHIPS AVAILABLE TO OWNER TO MAKE COLOR SELECTION.
 - ALL WINDOWS WILL BE INSPECTED UPON DELIVERY BY CONTRACTOR OR CONTRACTORS APPOINTED REPRESENTATIVE FOR LABELS AND DAMAGE. ANY DAMAGED WINDOWS WILL NOT BE ACCEPTED.
 - ALL WINDOWS WILL BE ORDERED WITH APPROPRIATE INSTALLATION HARDWARE.
 - ALL INTERIOR WOOD COMPONENTS OF WINDOWS WILL BE WHITE ALL WINDOWS WILL BE SET IN FABRICATED NATURAL ALUM, SS, OR GALV.. STORM SILLS (PANS).
 - ALL DOOR AND WINDOW UNITS AND GLAZING WILL BE CERTIFIED TO MEET THE WIND PRESSURE REQUIREMENTS OF THE CURRENT NJ BUILDING CODE.
 - EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY & RESCUE OPENING. SILL HEIGHT NOT MORE THAN 44" A.F.F. MINIMUM OPENING AREA SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT., WITH MIN. HEIGHT OF 24" AND 20" WIDTH NET.
 - ALL SIZES INDICATED ARE ROUGH OPENINGS (R.O.)
 - ALL WINDOWS TO BE LOW-E.

NOTE: ALL HEADERS TO COMPLY WITH I.R.C. 2018, U.N.O. TABLE R602.7(2) SEE ABOVE REFERENCED TABLE

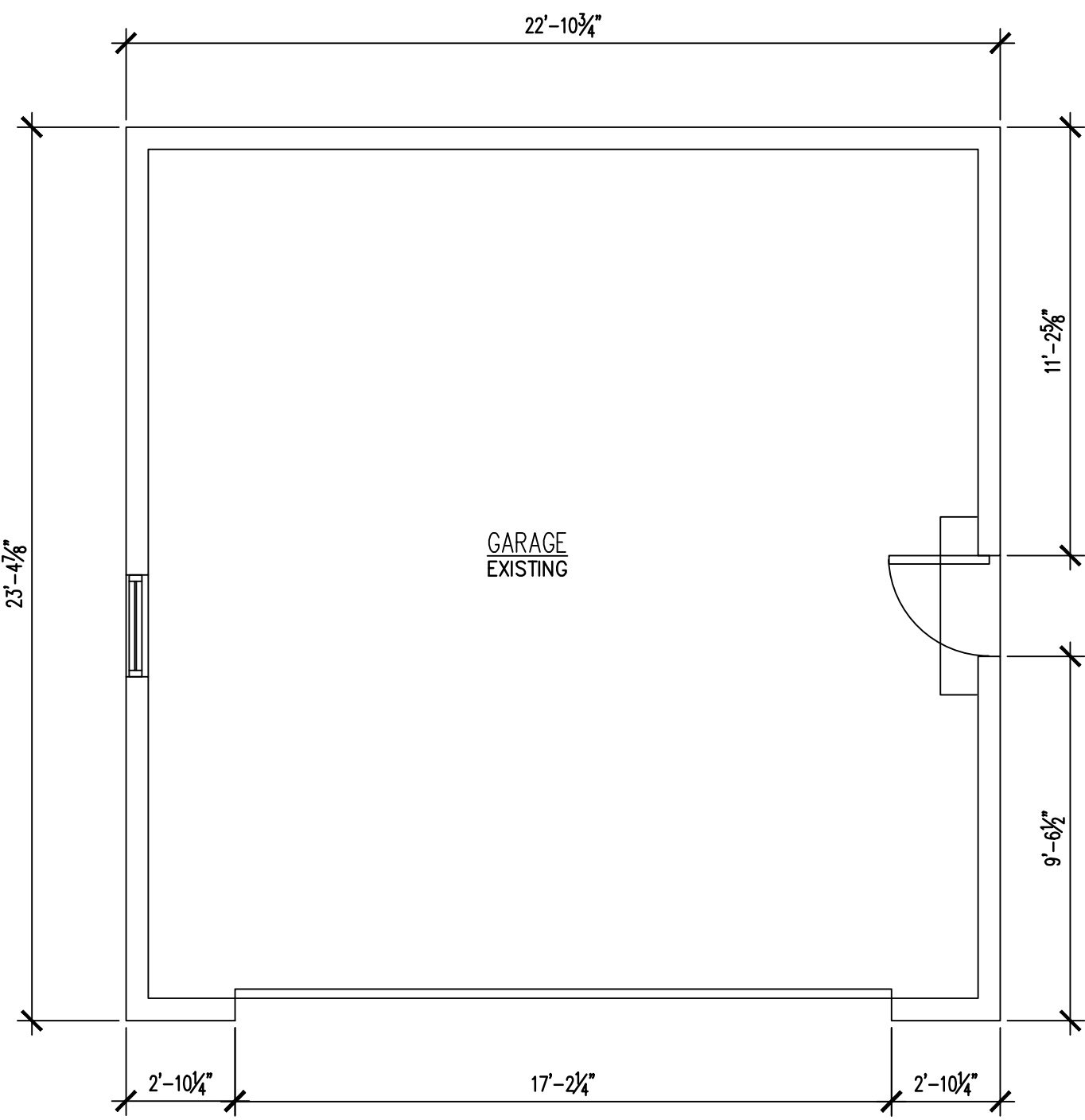
EGRESS WINDOW NOTES:

EVERY SLEEPING ROOM BELOW A FOURTH STORY IN USE GROUPS 'R' OR 'I-1' SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. EACH WINDOW SHALL MEET THE FOLLOWING REQUIREMENTS AS PER IRC SECTION R310.

MINIMUM NET CLEAR OPENING - 5.7 SQ.FT.
MIN NET CLEAR OPENING (WIDTH) - 20 INCHES
MIN NET CLEAR OPENING (HEIGHT) - 24 INCHES
MAX WINDOW SILL HEIGHT - 44 INCHES

LEGEND

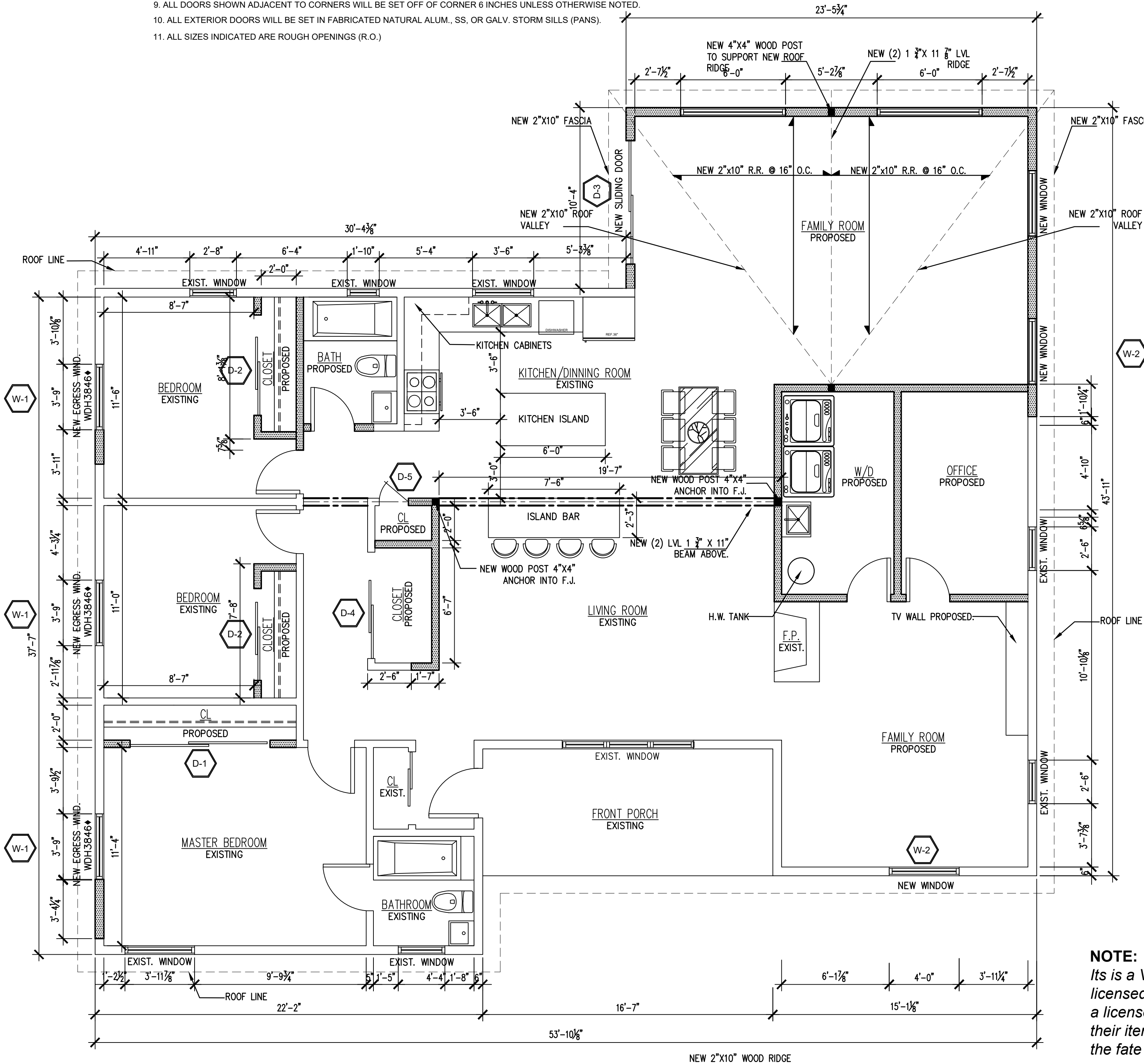
	EXISTING PARTITION/CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION
	CONSTRUCTION TO BE REMOVED



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOOR & HARDWARE TYPE SCHEDULE							
DOOR TAG	SIZE	TYPE	MATERIAL	FRAME	HARDWARE TYPE*	HEADERS	SPEC/NOTES
D-1	(2) 48"x80"	A	2-PANEL POCKET DOOR CLOSET	2" WOOD	PASSAGE LOCKSET	SEE TABLE	TBD BY OWNER
D-2	(4) 60"x80"	A	2-PANEL SLIDING DOOR CLOSET	2" WOOD	PASSAGE LOCKSET	SEE TABLE	TBD BY OWNER
D-3	(1) 96"x80"	A	2-PANEL SLIDING EXTERIOR DOOR	2" WOOD	PRIVACY LOCKSET	SEE TABLE	TBD BY OWNER
D-4	(1) 72"x80"	A	2-PANEL SLIDING UTILITY DOOR	2" WOOD	PASSAGE LOCKSET	SEE TABLE	TBD BY OWNER
D-5	(1) 30"x80"	A	BY-FOLD INTERIOR CLOSET DOOR	2" WOOD	PASSAGE LOCKSET	SEE TABLE	TBD BY OWNER
D-6	(1) 42"x80"	A	INTERIOR POCKET WOOD DOOR W/ SIDELIGHTS	2" WOOD	PRIVACY LOCKSET	SEE TABLE	TBD BY OWNER
D-7	(1) 42"x80"	A	EXTERIOR ENTRY WOOD DOOR	2" WOOD	PRIVACY LOCKSET	SEE TABLE	TBD BY OWNER

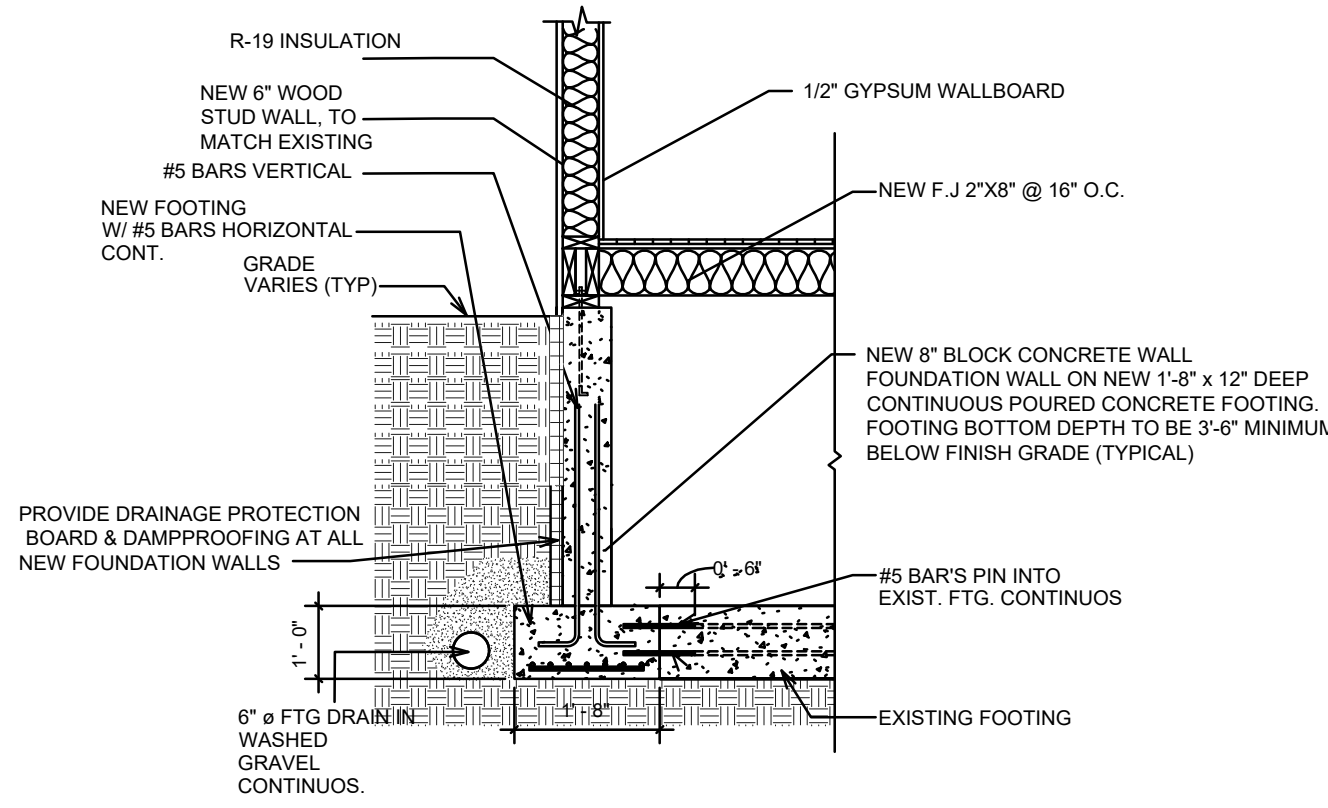
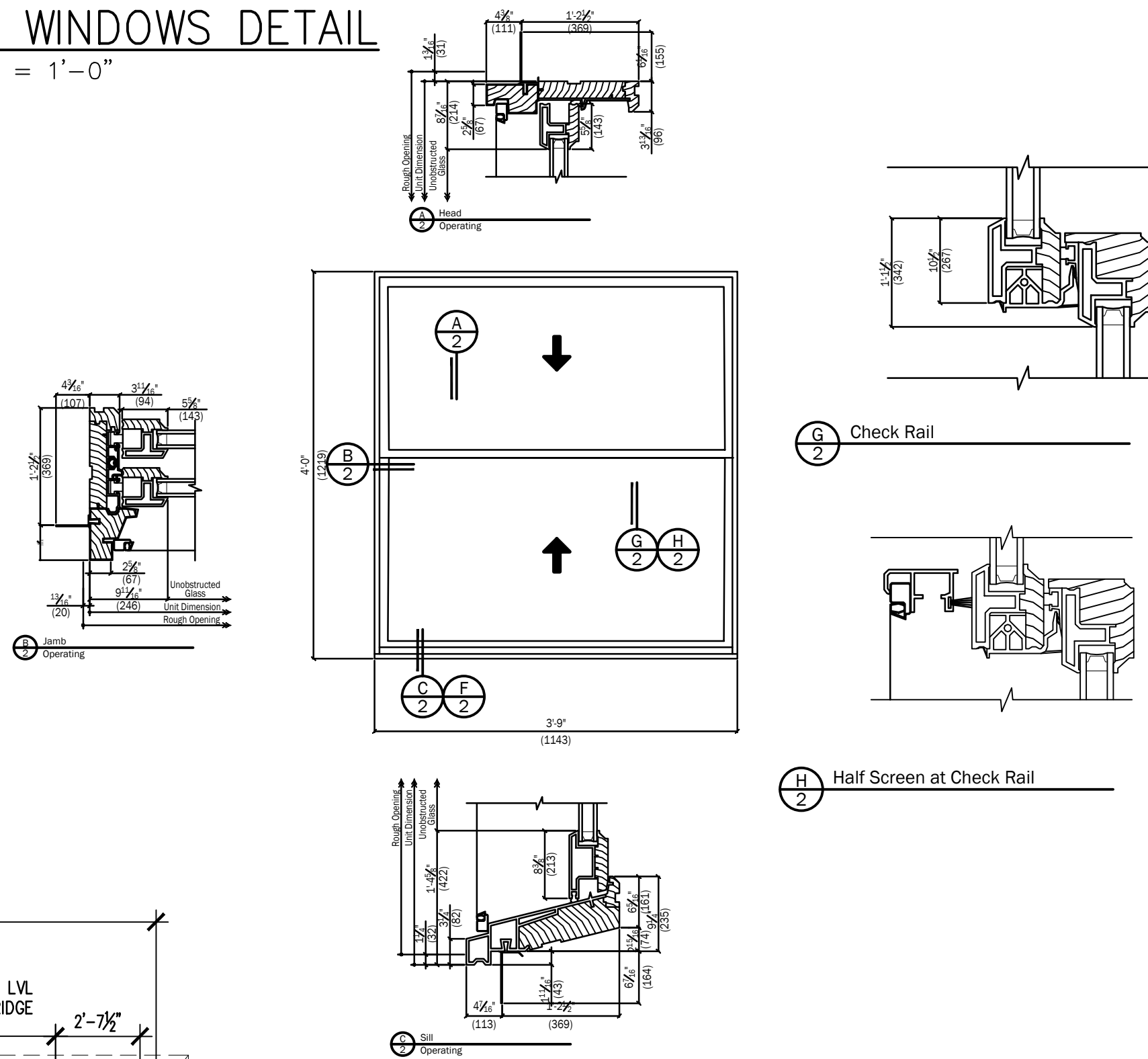
- DOOR NOTES:**
- ALL DOOR HARDWARE & FINISHES TBD BY CLIENT, GC TO SUPPLY & INSTALL.
 - ALL SOLID CORE WOOD INTERIOR DOORS ARE TO BE CONSTRUCTED FROM STAIN GRADE PINE OR PINE VENEER LAMINATED WOOD DOORS (IF NECESSARY TO PREVENT WARPING OF TALLER DOORS)
 - ALL INTERIOR DOORS ARE TO BE PRE-HUNG AND SHIPPED WITH STAIN GRADE WOOD FRAMES TO MATCH DOOR MATERIAL AND W/ (3) 4"x4" SQUARE HINGES UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR DOORS SHALL HAVE STAINLESS STEEL HINGES AND HARDWARE - PWDR COAT BLACK FIN.
 - PROVIDE "CABOT" OR EQUAL EXTERIOR TRANSPARENT STAIN/SEALER ON EXTERIOR WOOD DOORS WHERE APPLICABLE.
 - ALL CUSTOM WOOD EXTERIOR DOORS MUST BE PROVIDED WITH A THREE POINT LOCKING SYSTEM - SYSTEM MAY CONSIST OF SURFACE MOUNTED INTERIOR FLOOR AND TOP SLIDING BOLTS IN ADDITION TO LOCK AT HANDSET. INTERIOR DOOR SHALL BE PRIMED WHITE.
 - ANY DISCREPANCIES WITH DOOR SCHEDULE AND FLOOR PLANS SHOULD BE REPORTED TO ARCHITECT FOR CLARIFICATION. INCORRECT ASSUMPTIONS MADE AND UNVERIFIED WILL BE THE RESPONSIBILITY OF THE PARTY MAKING THE ASSUMPTION. UNAUTHORIZED ALTERATIONS TO THE SPECIFICATIONS WILL BE THE RESPONSIBILITY OF THE PARTY MAKING THE ALTERATIONS.
 - ALL DOORS MUST BE INSPECTED FOR CORRECT SIZE, DAMAGE, AND NUMBER PRIOR TO APPROVING DELIVERY. ANY DAMAGED PRODUCT WILL NOT BE ACCEPTED.
 - ALL DOORS SHOWN ADJACENT TO CORNERS WILL BE SET OFF OF CORNER 6 INCHES UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR DOORS WILL BE SET IN FABRICATED NATURAL ALUM., SS, OR GALV. STORM SILLS (PANS).
 - ALL SIZES INDICATED ARE ROUGH OPENINGS (R.O.)



NOTE:
Its is a Violation of the law for any person, unless acting under the direction of a licensed professional, to alter an item in any way. If and item bearing the seal of a licensed professional is altered, the altering licensed professional shall affix to their item their seal and the notation "altered by" followed by their signature and the fate of such alteration, and a specific description of the alteration.

EGRESS WINDOWS DETAIL

SCALE: 3/4" = 1'-0"



These plans are not valid for a building permit unless originally signed and sealed by the Architect. The Architect is not responsible for Construction Phase Administration of the construction systems. The Contractor is to discuss/verify the scope of this work with the Owner. The information shown in this drawing is intended to be accurate but not guaranteed. Existing conditions (if applicable) should be verified in the field. © 2022 Gemmola & Associates, Architects/Planners, All Rights Reserved.

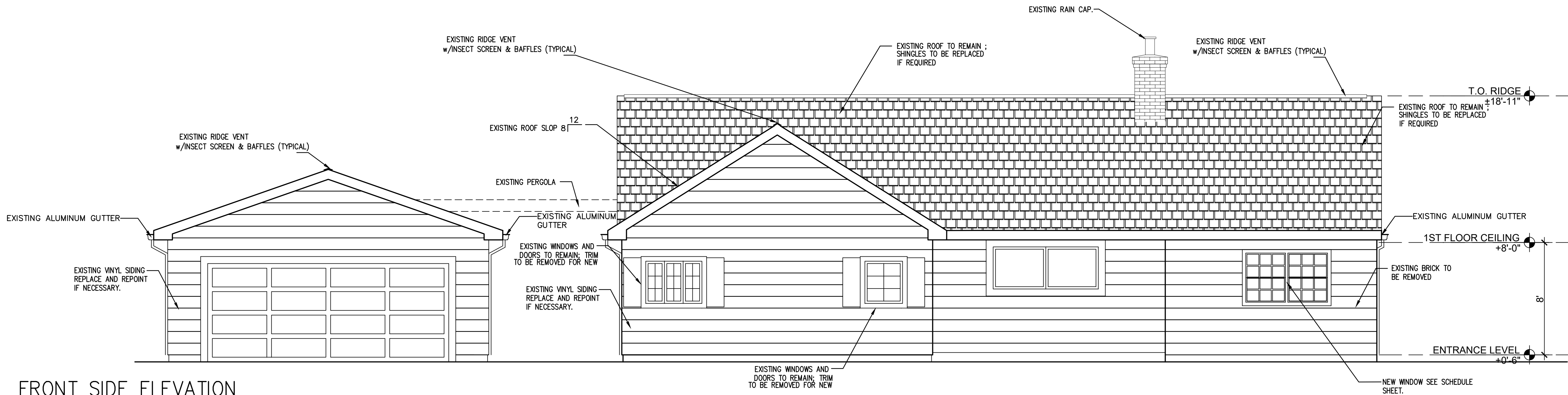
SPECIAL NOTES

rev. no.	by	date	description



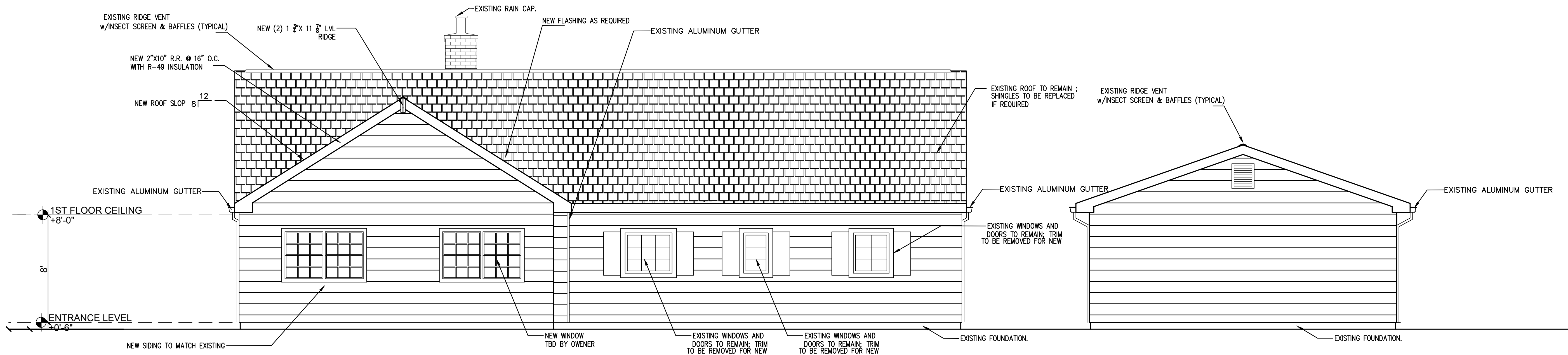
drawing title:	proposed floor plan
project:	proposed alteration/addition for:
date:	01/23/23
scale:	as noted
drawn by:	SA
project no.:	22-015
architects/planners:	Gemmola & Associates
address:	37 Enclou Avenue, Hawthorne, New York 10532 Tel. (914) 862-0202 Fax (914) 862-0204

drawing no. A-101



FRONT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR SIDE ELEVATION

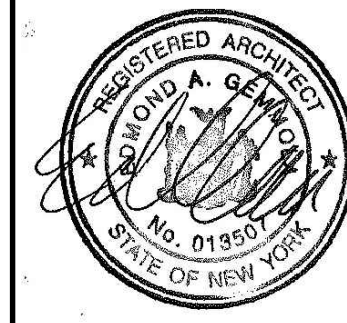
SCALE: 1/4" = 1'-0"

NOTE:
It is a Violation of the law for any person, unless acting under the direction of a licensed professional, to alter an item in any way. If and item bearing the seal of a licensed professional is altered, the altering licensed professional shall affix to their item their seal and the notation "altered by" followed by their signature and the fate of such alteration, and a specific description of the alteration.

These drawings are not valid for a building permit unless originally signed and sealed by the Architect.
These drawings are the property of Gerniola & Associates, Architects/Planners. Any use or reproduction in whole or part without the written authorization of Gerniola & Associates, Architects/Planners, is prohibited. The Architect assumes no responsibility for construction using plans without proper authorization. The Contractor is to discuss/verify the scope of this work with the Owner.
The construction documents do not include/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
The Architect is not responsible for Construction Phase. Administration of the construction documents is the responsibility of the Contractor.
The information shown in this drawing is purported to be accurate but not guaranteed.
Existing conditions (if applicable) should be verified in the field.
© 2022 Gerniola & Associates, Architects/Planners. All Rights Reserved.

SPECIAL NOTES

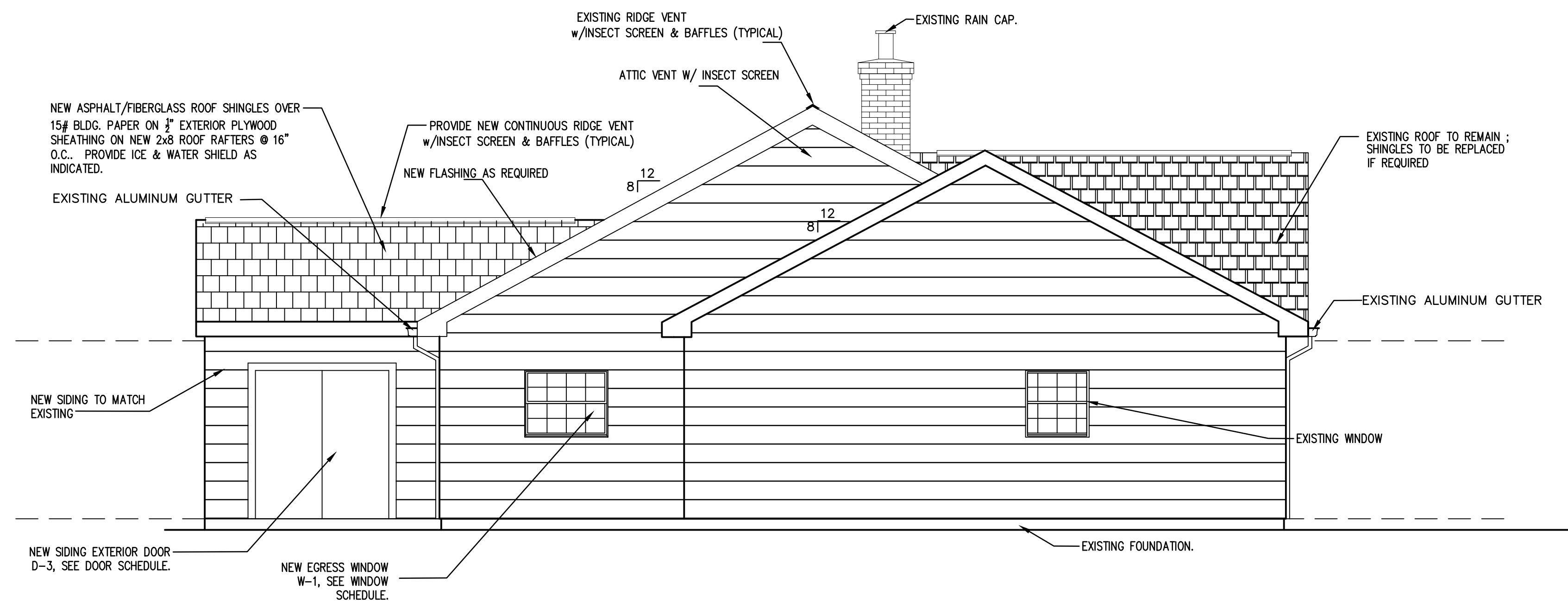
Rev. no.	by	date	Description



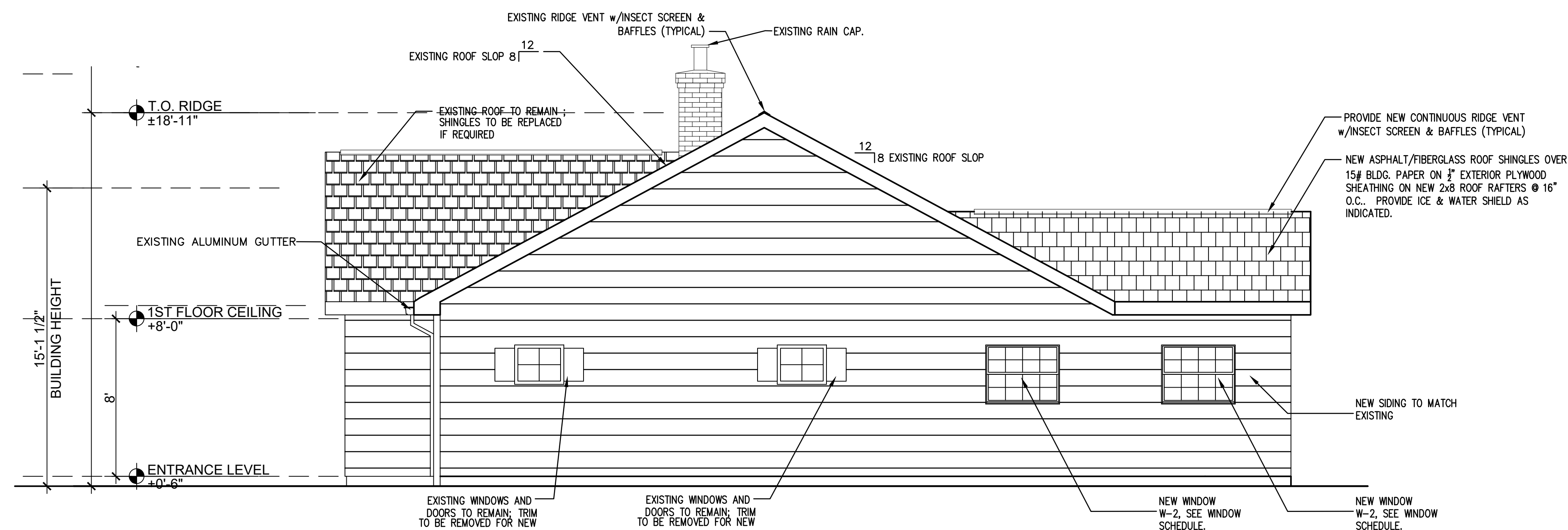
drawing title: elevation plans	date: 01/23/23	scale: as noted	SA	22-015
	project: proposed alteration/addition for: Adrian Venuto Residence 28 Conun Dr - Ossining - NY	drawn by: SA	project no.:	22-015
gemmola & associates architects/planners 37 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204				

drawing no.

A-201



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:

It is a Violation of the law for any person, unless acting under the direction of a licensed professional, to alter an item in any way. If an item bearing the seal of a licensed professional is altered, the altering licensed professional shall affix to their item their seal and the notation "altered by" followed by their signature and the date of such alteration, and a specific description of the alteration.

and are for the construction of that building only whose name appears on the plans.

These plans are the property of Germelo & Associates Architects/Pioneers. Any use or reproduction in whole or part without the written authorization of Germelo & Associates Architects/Pioneers is prohibited. The Architect shall retain all rights without proper authorization will be responsible to compensate the Architect.

The construction documents do not indicate/predict the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/predict the scope of this work with the Owner.

The Architect is not responsible for Construction Phase. Administration of the construction contract is the responsibility of this Owner.

The information shown in this drawing is purported to be accurate but not guaranteed.

Existing conditions (if applicable) should be verified in the field.

Do not scale drawings.

© 2022 Germelo & Associates, Architects/Pioneers, All Rights Reserved

SPECIAL NOTES

rev. no.	by	date	description



a vertical elevation plans	project: proposed alteration/addition for: Adrian Venuto Residence 28 Ganun Dr – Ossining – NY	date: 01/23/23 scale: as noted drawn by: SA project no. 22-015
	gemmola & associates architects/planners 317 elwood avenue, hawthorne, new york 10523 tel. (914) 862-0202 fax (914) 862-0204	

drawing no.

A-202