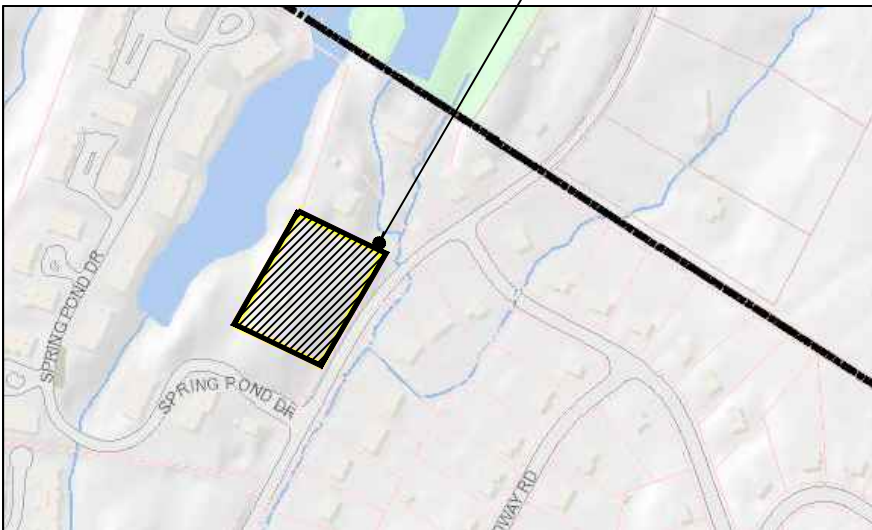


PROPOSED
ACCESSORY APT.
95 CROTON DAM, RD.,
OSSINING, NY 10562

SITE



TAX MAP



STREET VIEW

SITE



AERIAL VIEW



EAGLE VIEW

SPECIFICATIONS

CARPENTRY: DOUBLE JOISTS UNDER ALL INTERIOR PARTITIONS, AND AROUND ALL OPENINGS.
FRAMING LUMBER: DOUGLAS FIR #2 OR BETTER, F#875 PSI.
STUDS: DOUGLAS FIR STUD GRADE, 2x4 INTERIOR WALLS, 16"O.C. UNLESS NOTED OTHERWISE.
JOIST HANGERS: 'SIMPSON' OR EQUAL, GALVANIZED STEEL TO FIT FRAMING MEMBER.
INSTALL FRAMING ANCHORS AT ALL FLUSH FRAMED CONNECTIONS AND AS INDICATED ON PLANS.
TREATED WOOD: PRESSURE TREATED SOUTHERN YELLOW PINE. ABOVEGROUND .25 LBS./CU.FT.
GROUND CONTACT .40 LBS./CU.FT.
INTERIOR FINISHES
WALLS: 1/2" GYPSUM DRYWALL, 5/8" TYPE 'X' AT GARAGE, JOINTS TAPED AND FINISHED.
CEILINGS: 1/2" GYPSUM DRYWALL, 5/8" TYPE 'X' AT GARAGE
PROVIDE 5/8" TYPE-X FIRE-RATED GYPSUM DRYWALL OVER BOILER AND HW TANK.
PAINTING: BENJAMIN MOORE & CO. OR EQUAL; COLORS SELECTED BY OWNER. PRIME AND PAINT ALL NEW INTERIOR TRIM, CASINGS, MOULDINGS, DOORS, WINDOWS, ETC. PRIME AND PAINT ALL NEW DRYWALL SURFACES.
INTERIOR TRIM: PROFILES, SPECIES AND FINISH TO BE SELECTED BY OWNER.
WINDOWS: 'ANDERSEN' 400 SERIES VINYL CLAD WOOD WINDOWS WITH HIGH-PERFORMANCE LOW-E INSULATING GLASS, AND INSECT SCREENS, STANDARD HARDWARE, AS SCHEDULED. PRIME AND APPLY TWO FINISH COATS PAINT TO INTERIOR SASH AND FRAME.
CAULK: SILICON SEALANT WITH COLOR TO MATCH ADJACENT SURFACES.
FLASHING: 16oz. COPPER, OR EQUAL.
DOORS
INTERIOR DOORS: TO BE SELECTED BY OWNER.
DOOR HARDWARE: AS MANUFACTURED BY 'SCHLAGE' OR EQUAL;

GENERAL NOTES

CODES: ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND CODES OF AGENCIES HAVING JURISDICTION. ABSENT OTHER STANDARDS 2020 RC OF NYS.
VERIFICATION: VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. REPORT DIFFERENCES FROM CONSTRUCTION DOCUMENTS TO OWNER AND ARCHITECT. CLAIMS FOR EXTRA PAYMENTS RESULTING FROM CONTRACTOR'S FAILURE TO DO SO WILL NOT BE APPROVED. ARCHITECT SHALL DECIDE ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS. A PRECONSTRUCTION MEETING SHALL BE SCHEDULED ON THE SITE WITH THE PROJECT MANAGER, OWNER, ARCHITECT, PRIOR TO THE COMMENCEMENT OF WORK. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DISCREPANCIES BETWEEN ACTUAL CONDITIONS, DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING. SHALL UNFORESEEN CONDITIONS REQUIRE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO PROCEEDING. 'V.I.F.' INDICATES THAT THE CONTRACTOR SHALL VERIFY AT THE JOB SITE THE DIMENSIONS OR CONDITIONS TO WHICH THE NOTATION IS APPENDED. NO SUBSTITUTION SHALL BE MADE FOR ANY ITEM SPECIFIED ON THE DRAWING WITHOUT WRITTEN APPROVAL FROM ARCHITECT OR THE OWNER.
DRAWINGS: BY SUBMITTING A BID OR STARTING WORK, CONTRACTOR AGREES THAT HE HAS EXAMINED THE DRAWINGS AND SPECIFICATIONS AND FOUND THEM ADEQUATE FOR PROPER COMPLETION OF PROJECT. CLAIMS FOR EXTRA CHARGES BECAUSE OF ALLEGED INADEQUATE DRAWINGS OR SPECIFICATIONS WILL NOT BE ALLOWED UNLESS NOTIFICATION WAS MADE IN WRITING TO ARCHITECT PRIOR TO SUBMISSION OR BEGINNING.
UTILITY STAKEOUT: PRIOR TO DEMOLITION OR EXCAVATION, CONTRACTOR SHALL REQUEST FOR A CODE 53 UNDERGROUND UTILITY STAKE-OUT, 1-800-962-7962. CONTRACTOR WILL CONTACT THE UNDERGROUND LINES LOCATION SERVICES (CODE 753) PRIOR TO COMMENCING CONSTRUCTION.
USE OF PREMISES: CONTRACTOR SHALL STORE MATERIALS, DISPOSE OF DEBRIS, COORDINATE AND SCHEDULE ALL WORK IN COOPERATION WITH OWNER FOR MINIMUM DISRUPTION. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES.
PERMITS: OWNER SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND CERTIFICATES REQUIRED. ELECTRICAL AND PLUMBING CONTRACTORS SHALL APPLY FOR AND PAY FOR INDIVIDUAL PERMITS, INSPECTIONS AND APPROVALS AS REQUIRED. KEEP APPROVED PERMIT DRAWINGS ON JOB SITE.
CONTRACTOR WILL OBTAIN ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
LICENSE: CONTRACTOR MUST BE LICENSED BY WESTCHESTER COUNTY AND PROVIDE OWNER AND BUILDING DEPARTMENT A COPY OF CERTIFICATE NUMBER.
INSURANCE: PRIOR TO STARTING WORK, CONTRACTOR SHALL SUPPLY OWNER AND BUILDING DEPARTMENT WITH CERTIFICATES OF WORKMEN'S COMPENSATION INSURANCE, LIABILITY INSURANCE FOR BODILY INJURY, PROPERTY DAMAGE, AUTOMOTIVE AND OTHER INSURANCES REQUIRED BY LAW OR BY OWNER IN THE AMOUNTS AND TERMS SATISFACTORY TO THE OWNER TO RENDER THE OWNER HARMLESS IN CASE OF ACCIDENT TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. MAINTAIN SUCH INSURANCE IN FULL FORCE DURING ENTIRE TIME OF CONSTRUCTION.
LATENT DEFECTS: NO RESPONSIBILITY IS ASSUMED BY ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND RELIED UPON BY ARCHITECT TO BE ACCURATE FOR LATENT DEFECTS IN STRUCTURE IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL PROBING OR TESTING.
SUPERVISION: ARCHITECT HAS NOT BEEN RETAINED BY THE OWNER TO PROVIDE OBSERVATION AND SUPERVISION OF CONSTRUCTION OPERATIONS AND CERTIFICATION OF PAYMENTS.
DEMOLITION:
PRIOR TO DEMOLITION COORDINATE AND STAKEOUT EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES AS REQUIRED.
1. CLEAR SITE AS REQUIRED.
2. REMOVE ALL DEBRIS FROM SITE TO A LEGAL DISPOSAL FACILITY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DUMPSTERS AND CARTING FEES.
COOPERATION: CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ADJACENT WORK AND COOPERATE WITH OTHER TRADES TO FACILITATE PROGRESS OF WORK. EACH TRADE SHALL AFFORD OTHER TRADES REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR TEMPORARY STORAGE OF THEIR TOOLS AND MATERIALS.
LANDSCAPE: ALL LAWN AREAS DAMAGED BY NEW CONSTRUCTION OR CONSTRUCTION OPERATIONS SHALL BE REPLACED AS ORIGINAL. LAWNS MAY BE SODDED OR SEEDED WITH BLUEGRASS AND/OR RYEGRASS TO ESTABLISH 98% OR BETTER COVER. REVIEW TREES AND SHRUB REMOVAL REQUIRED FOR CONSTRUCTION WITH OWNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TYING UP PLANT MATERIAL IN THE WAY OF SITE ACCESS PRIOR TO CONSTRUCTION.
SEDIMENT AND EROSION CONTROL: SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN EACH AREA BEFORE ANY DEMOLITION AND ANY SUBSTANTIAL AMOUNT OF SITE PREPARATION, CLEARING AND GRUBBING, EXCAVATION AND FILLING SHALL BE STARTED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FAIRFIELD COUNTY PUBLICATION BEST MANAGEMENT PRACTICES MANUAL-CONSTRUCTION RELATED ACTIVITIES, LATEST EDITION.
ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO ENSURE THEIR PROPERLY FUNCTIONING.
EROSION BLANKET SHALL BE 'WIENCO TEX' EROSION CONTROL MATS 6.3MM WT 400P OR EQUAL APPROVED. INSTALL AS PER MANUFACTURER SPEC'S.
ELECTRICAL: THE DESIGN AND INSTALLATION OF ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL CODES AND THE NATIONAL ELECTRIC CODE. PROVIDE OWNER/BUILDER COPY OF UNDERWRITER'S CERTIFICATE UPON COMPLETION OF WORK. REVIEW ALL FIXTURES WITH OWNER BEFORE ORDERING. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED & INSURED ELECTRICAL CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.
PLUMBING: THE DESIGN AND INSTALLATION OF ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE LOCAL CODES AND THE NEW YORK STATE BUILDING CODE. INSULATE ALL HOT WATER SUPPLY PIPES IN UNHEATED AREAS. ALL PLUMBING WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED & INSURED PLUMBING CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.
UTILITIES: COORDINATE THE LOCATION AND SIZE OF ALL NEW UTILITIES (ELECTRICAL, GAS, WATER, SEWER, TELEPHONE, CABLE) WITH EACH UTILITY COMPANY REPRESENTATIVE AND UTILITY SPECIFICATIONS.
MANUFACTURERS: LISTED ARE ONLY FOR ITEM SPECIFICATION. THE LISTING IS NOT INTENDED TO LIMIT SELECTION OF SIMILAR ITEMS FROM OTHER MANUFACTURERS. ANY SUBSTITUTIONS REQUIRE APPROVAL AND REVIEW BY ARCHITECT
CONTRACTOR: IS RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND SHALL ARRANGE FOR ALL MANDATORY INSPECTIONS, COMPLYING WITH LOCAL MUNICIPALITY OF JURISDICTION REQUIREMENTS. NO WORK SHALL BE CLOSED UNTIL INSPECTED AND APPROVED.
ALL WORK SHOULD BE PERFORMED IN THE BEST PROFESSIONAL MANNER BY MECHANICS SKILLED IN THEIR TRADE.



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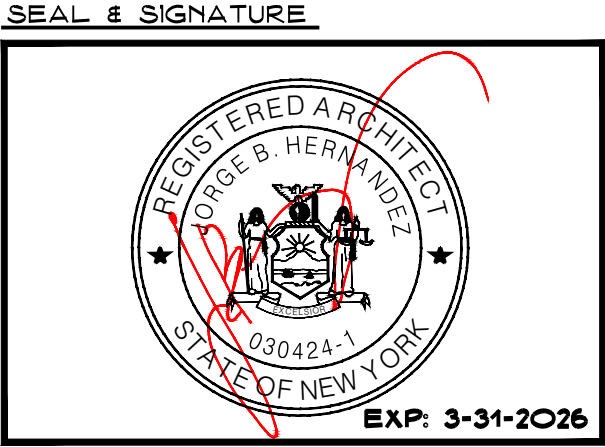
JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 2323601

REVISIONS	DATE	BY

PROJECT:
DACRUZ RESIDENCE
ACCESSORY APARTMENT

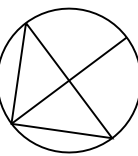
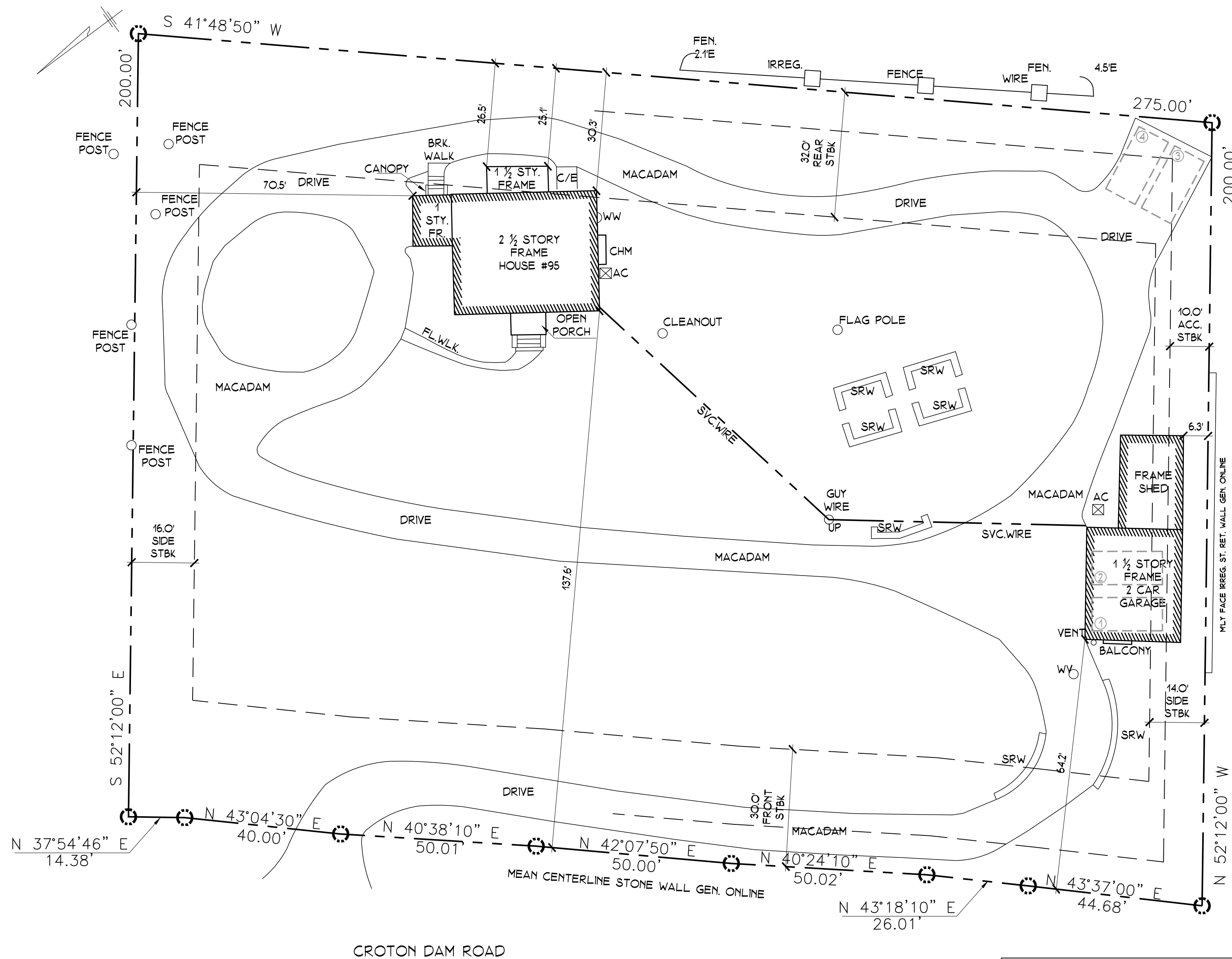
PROJECT ADDRESS:
95 CROTON DAM, RD.,
OSSINING, NY 10562

NYS EDUCATION LAW
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DRAWING TITLE:
MAPS & GENERAL NOTES

DATE: 11/25/2024	DWG. NO.:
PROJECT NO: 24-179	T=100
DRAWING BY: ARQ	
CHECKED BY: ARQ	



EXISTING & PROPOSED SITE PLAN
1" = 20'-0"
THE MEETS & BOUNDS SHOWN ABOVE HAS BEEN TAKEN FROM THE SURVEY DONE BY RONALD PERSUAD, SURVEYING DATED NOVEMBER 20, 2024

ZONING TABLE - TOWN OF OSSINING					
LOCATION: 95 CROTON DAM ROAD		ZONING DISTRICT: R-15			
PARCEL ID: 8117-4-5		ONE-FAMILY RESIDENCE DISTRICT			
BULK REGULATIONS		PERMITTED	EXISTING	PROPOSED	VARIANCE
MIN. LOT AREA	S.F.	15,000 S.F.	54,606 S.F.	N.C.	NO
MIN. LOT WIDTH	FT.	90.0'	275.1'	N.C.	NO
MIN. DEPTH	FT.	120.0'	200.0'	N.C.	NO
MIN. FRONT YARD	FT.	30.0'	64.2'	N.C.	NO
MIN. ONE SIDE YARD	FT.	14.0'	6.3'	N.C.	E.N.C.
MIN. SIDE YARDS (BOTH)	FT.	30.0'	76.8'	N.C.	NO
MIN. REAR YARD	FT.	32.0'	25.1'	N.C.	E.N.C.
MINIMUM LIVABLE FLOOR AREA PER DWELLING UNIT	S.F.	850 S.F.	1,842 S.F.	-	-
MAX. BUILDING HEIGHT	STY./FT.	2 1/2/35.0'	EXIST.	N.C.	NO
MAX. BUILDING COVERAGE	%	25%	4.61%	N.C.	NO
ACCESSORY BUILDING					
MAX. BUILDING HEIGHT	FT.	15.0'	27.3'	N.C.	E.N.C.
MIN. SET BACK	FT.	10.0'	6.3'	N.C.	E.N.C.
MAX. BUILDING COVERAGE	%	30%	3.55%	N.C.	NO
ABBREVIATIONS / LEGEND:					
MIN. - MINIMUM		S.F. - SQUARE FEET		N.C. - NO CHANGE	
E.N.C. - EXISTING NON-CONFORMING		FT. - FEET		MAX. - MAXIMUM	
STY. - STORY		EXIST. - EXISTING		D.U. - DWELLING UNIT	

FOR Z.B.A. APPROVAL PURPOSES



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LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 2323601

REVISIONS	DATE	BY

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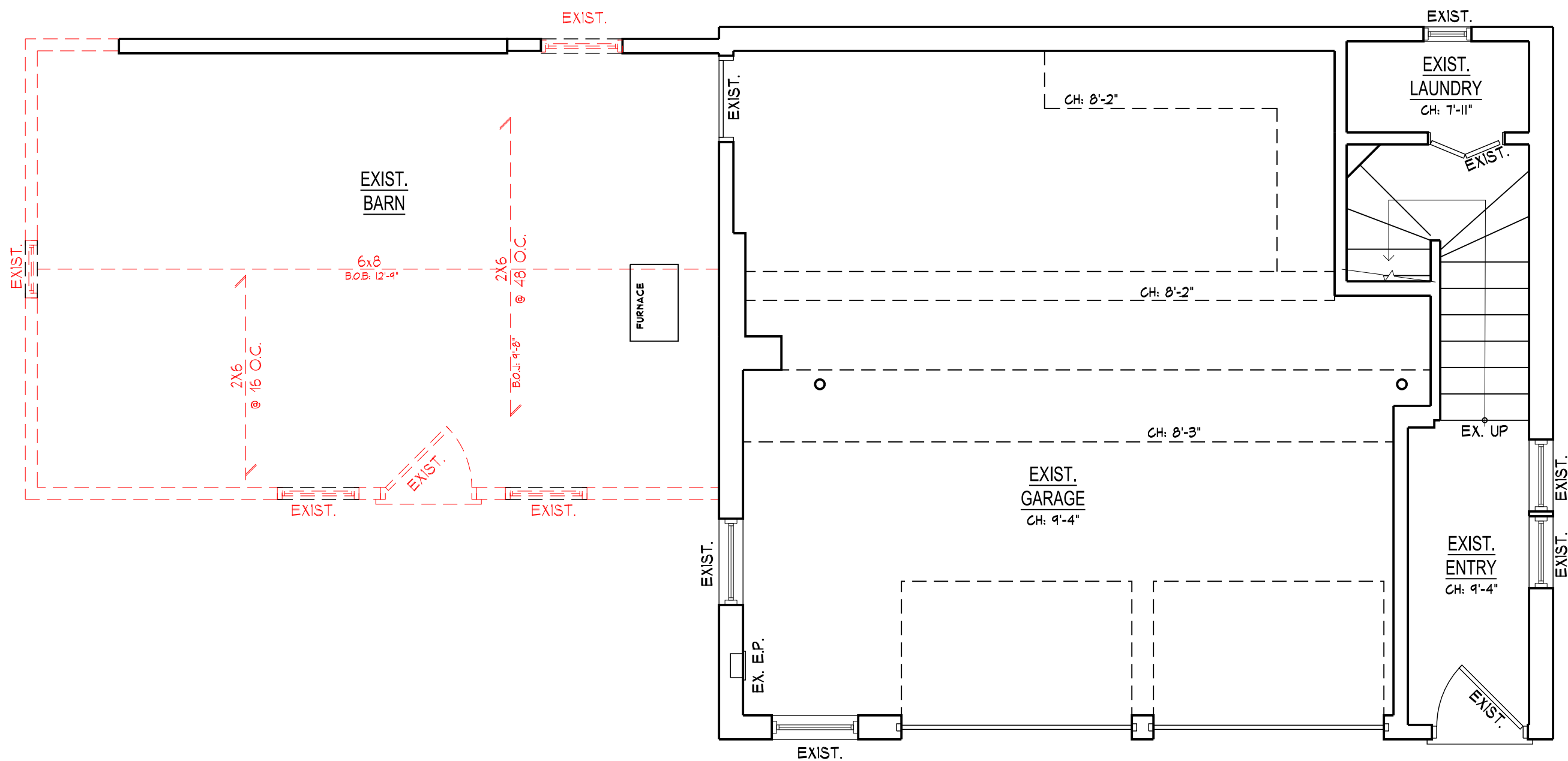
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SEAL & SIGNATURE



DRAWING TITLE:
EXIST. & PROPOSED
SITE PLAN
DATE: 11/25/2024
PROJECT NO: 24-179
DRAWING BY: ARQ
CHECKED BY: ARQ
DWG. NO.: S=100



DEMOLITION LEGEND/NOTES	
SYMBOL	DESCRIPTION
	1. REMOVE EXISTING WALL CONSTRUCTION FROM STRUCTURAL SLAB TO UNDERSIDE OF FLOOR DECKING ABOVE. 2. REMOVE / RELOCATE EXISTING ELECTRICAL OUTLETS, SWITCHES ETC., AS REQUIRED. REWORK WIRING AS NECESSARY FOR CONTINUED POWER TO REMAINING OUTLETS, SWITCHES OR IF OUTLETS NOT REQUIRED REMOVE WIRING BACK TO NEAREST JUNCTION BOX TO REMAIN. 3. REMOVE / RELOCATE EXISTING PLUMBING AS REQUIRED. REWORK PLUMBING AS NECESSARY TO MAINTAIN INTEGRITY OF EXISTING SYSTEM TO REMAIN. CAP ALL UNUSED PIPING IN WALLS, FLOOR OR CEILINGS TO REMAIN.
	REMOVE EXISTING DOOR, FRAME HARDWARE AND SADDLE, IN THEIR ENTIRETY.
	EXISTING WALL TO REMAIN.
NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED.	



ARQ ARCHITECTURE, P.C.
ARCHITECTURE - PLANNING & ENGINEERING

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LICENSE NUMBER: 030424-1
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REVISIONS	DATE	BY

PROJECT:
DACRUZ RESIDENCE
ACCESSORY APARTMENT

PROJECT ADDRESS:
95 CROTON DAM, RD.,
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NYS EDUCATION LAW _____

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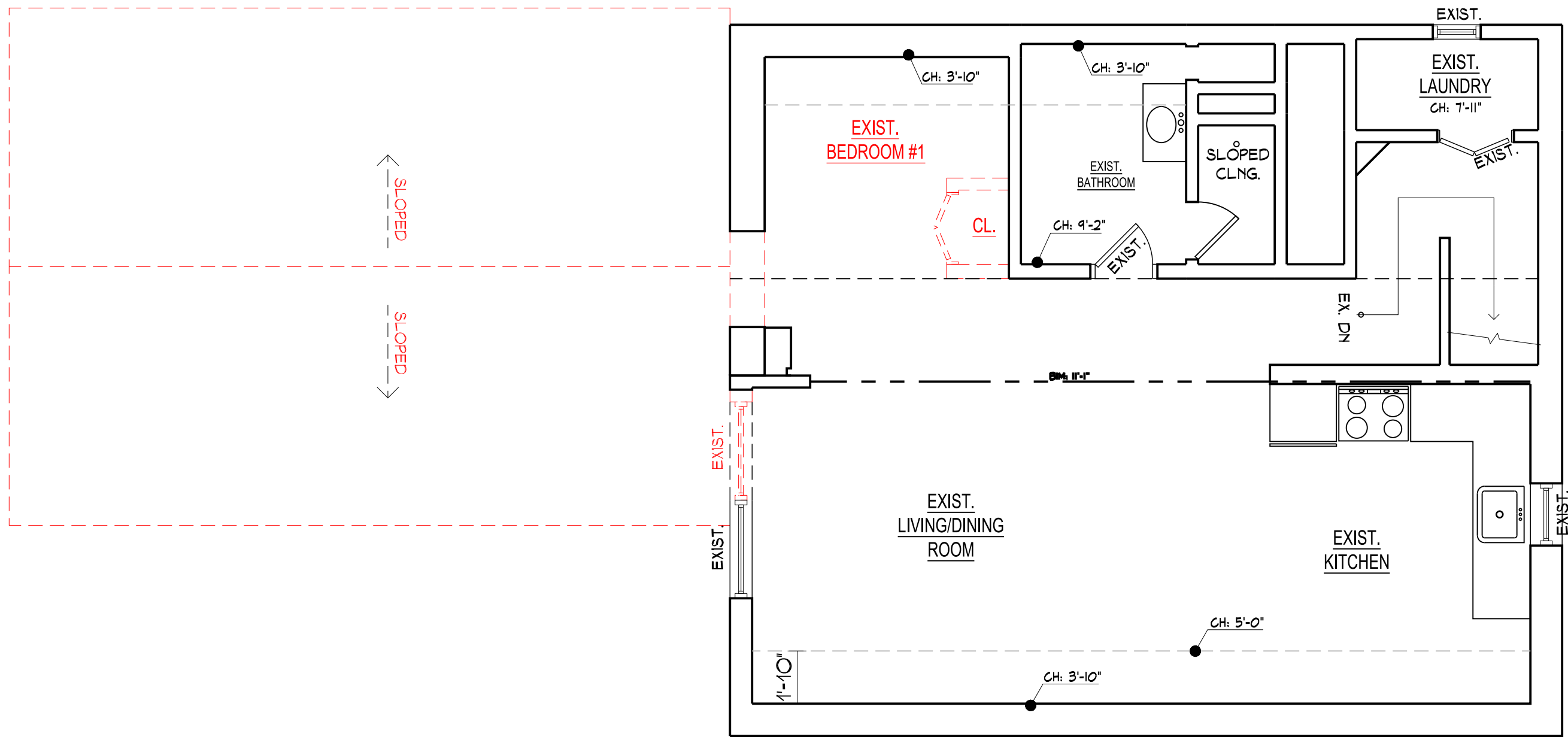
SEAL & SIGNATURE



EXP: 3-31-2026

DRAWING TITLE:
EXIST. & DEMO.
FIRST FLOOR PLAN

DATE: 11/25/2024	DWG. NO.: A=001
PROJECT NO: 24-179	
DRAWING BY: ARQ	
CHECKED BY: ARQ	



EXISTING & DEMO.
SECOND FLOOR PLAN

1/4" = 1'-0"

DEMOLITION LEGEND/NOTES	
SYMBOL	DESCRIPTION
	1. REMOVE EXISTING WALL CONSTRUCTION FROM STRUCTURAL SLAB TO UNDERSIDE OF FLOOR DECKING ABOVE. 2. REMOVE / RELOCATE EXISTING ELECTRICAL OUTLETS, SWITCHES ETC., AS REQUIRED. REWORK WIRING AS NECESSARY FOR CONTINUED POWER TO REMAINING OUTLETS, SWITCHES OR IF OUTLETS NOT REQUIRED REMOVE WIRING BACK TO NEAREST JUNCTION BOX TO REMAIN. 3. REMOVE / RELOCATE EXISTING PLUMBING AS REQUIRED. REWORK PLUMBING AS NECESSARY TO MAINTAIN INTEGRITY OF EXISTING SYSTEM TO REMAIN. CAP ALL UNUSED PIPING IN WALLS, FLOOR OR CEILINGS TO REMAIN.
	REMOVE EXISTING DOOR, FRAME HARDWARE AND SADDLE, IN THEIR ENTIRETY.
	EXISTING WALL TO REMAIN.
NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED.	



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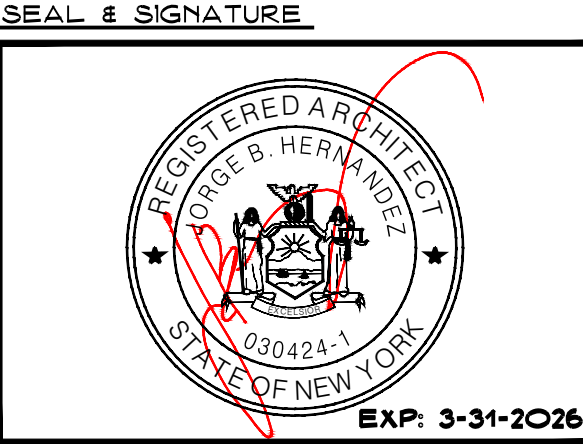
REVISIONS	DATE	BY

PROJECT:
DACRUZ RESIDENCE
ACCESSORY APARTMENT

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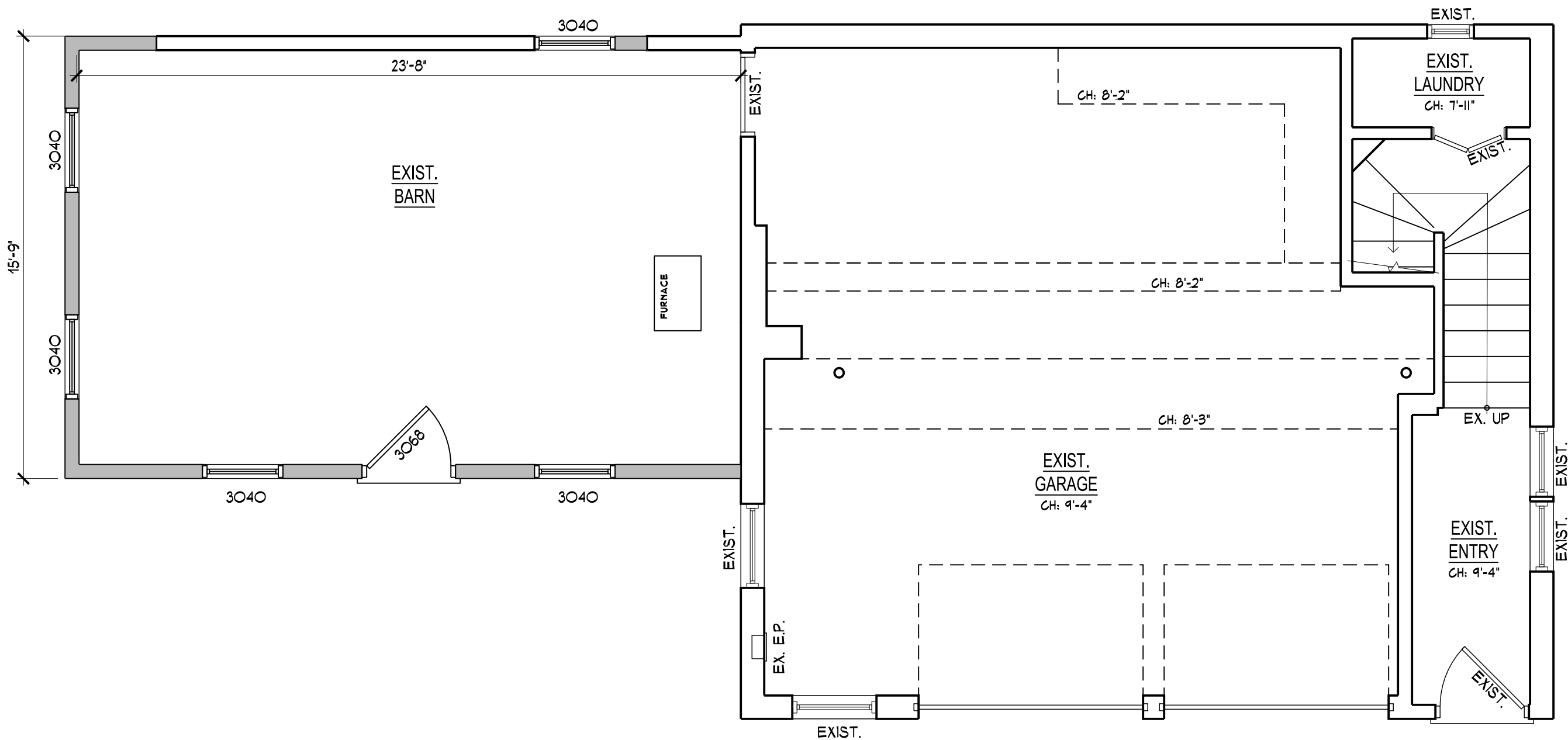
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DRAWING TITLE:
EXIST. & DEMO.
SECOND FLOOR PLAN

DATE: 11/25/2024	DWG. NO.: A=002
PROJECT NO: 24-179	
DRAWING BY: ARQ	
CHECKED BY: ARQ	



EXISTING & PROPOSED
FIRST FLOOR PLAN

1/4" = 1'-0"

CONSTRUCTION LEGEND:

SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	NEW EXTERIOR WALL
	NEW EXTERIOR WALL TO MATCH EXISTING EXTERIOR WALL, INSULATION AS REQD.
	WALL WITH 2X4 FURRING ON 2X4 P.T. PLATE.
	NEW WALL
	2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD EACH SIDE
	DOOR
	INDICATES WINDOW SIZE

NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED.

ELECTRICAL LEGEND:

SYMBOL	DESCRIPTION
	NEW HARDWIRED INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTOR. NOTE: EXCEPTION (RC #R314.4) INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS ARE NOT REQD WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES. (#1J4O3.2.1) SMOKE ALARMS ARE PERMITTED TO BE BATTERY OPERATED WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES.
	BATHROOM EXHAUST FAN DUCTED TO EXTERIOR W/ CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS
	KITCHEN EXHAUST HOODS SHALL BE DUCTED TO EXTERIOR WITH SHEET METAL DUCTS CONSTRUCTED OF GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER. DUCTS SHALL BE AIR TIGHT AND EQUIPPED WITH A BACK DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS. KITCHEN EXHAUST SHALL BE 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS .

NOTE: ALL OUTLETS IN BATHROOMS, ABOVE COUNTERS IN KITCHENS, & WITHIN 6'-0" OF A SINK SHALL BE GFCL VERIFY & REPLACE OUTLETS AS REQD.



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95 CROTON DAM, RD.,
OSSINING, NY 10562

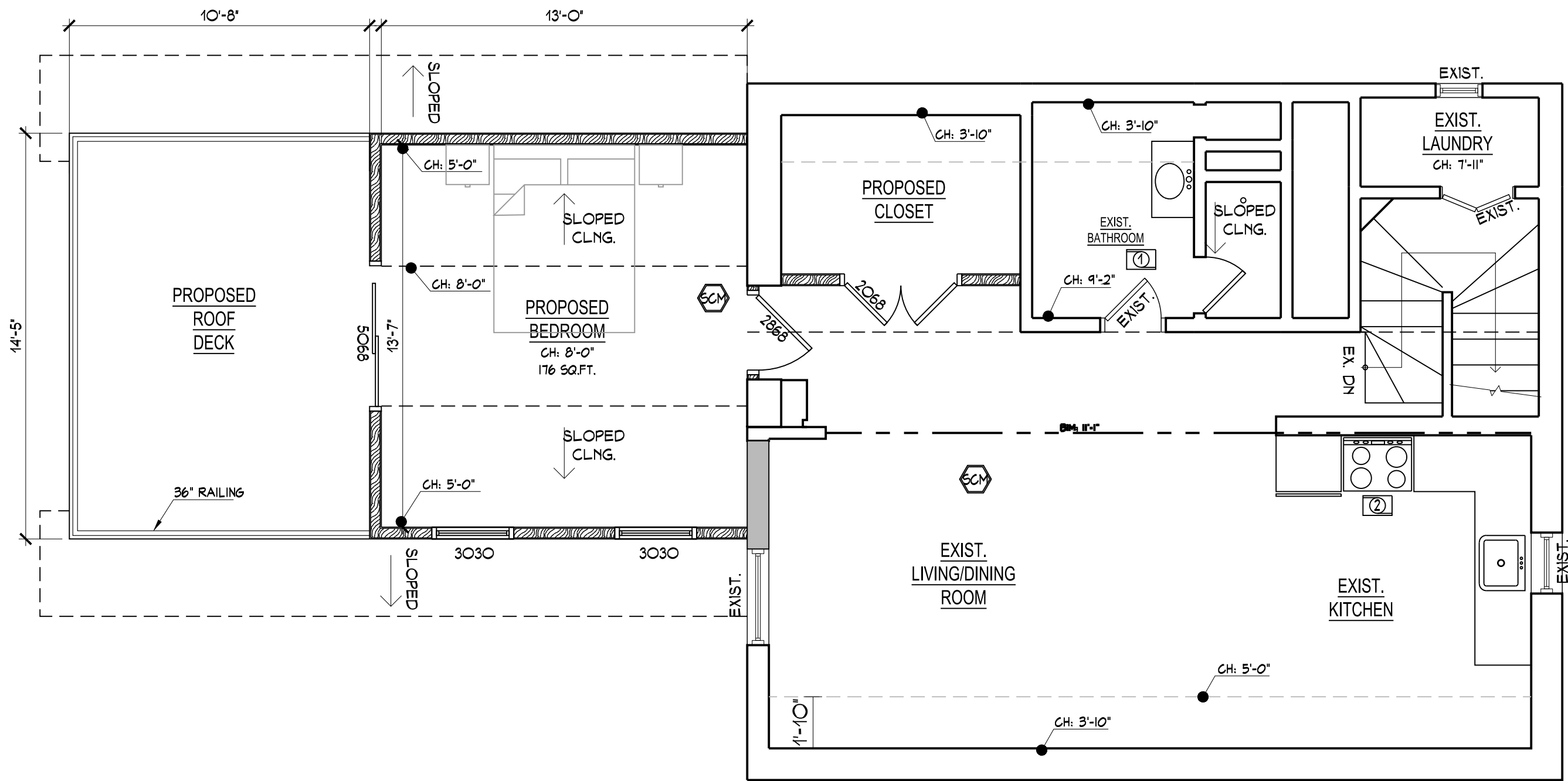
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SEAL & SIGNATURE

DRAWING TITLE:
EXIST. & PROPOSED
FIRST FLOOR PLAN

DATE: 11/25/2024	DWG. NO.:
PROJECT NO: 24-179	
DRAWING BY: ARQ	A=100
CHECKED BY: ARQ	



EXISTING & PROPOSED
SECOND FLOOR PLAN
720 SQ. FT.

1/4" = 1'-0"

CONSTRUCTION LEGEND:

SYMBOL	DESCRIPTION
[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	NEW EXTERIOR WALL
[Symbol]	NEW EXTERIOR WALL TO MATCH EXISTING EXTERIOR WALL. INSULATION AS REQD.
[Symbol]	WALL WITH 2X4 FURRING ON 2X4 P.T. PLATE.
[Symbol]	NEW WALL
[Symbol]	2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD EACH SIDE
[Symbol]	DOOR
[Symbol]	INDICATES DOOR SIZE
[Symbol]	WINDOW
[Symbol]	INDICATES WINDOW SIZE

NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED.

ELECTRICAL LEGEND:

SYMBOL	DESCRIPTION
[Symbol]	NEW HARDWIRED INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTOR. NOTE: EXCEPTION (RC #R314.4) INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS ARE NOT REQD WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES. (#1J4O3.2.1) SMOKE ALARMS ARE PERMITTED TO BE BATTERY OPERATED WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES.
[Symbol]	BATHROOM EXHAUST FAN DUCTED TO EXTERIOR W/ CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS
[Symbol]	KITCHEN EXHAUST HOODS SHALL BE DUCTED TO EXTERIOR WITH SHEET METAL DUCTS CONSTRUCTED OF GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER. DUCTS SHALL BE AIR TIGHT AND EQUIPPED WITH A BACK DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS. KITCHEN EXHAUST SHALL BE 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS .

NOTE: ALL OUTLETS IN BATHROOMS, ABOVE COUNTERS IN KITCHENS, & WITHIN 6'-0" OF A SINK SHALL BE GFCI. VERIFY & REPLACE OUTLETS AS REQD.



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JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 2323601

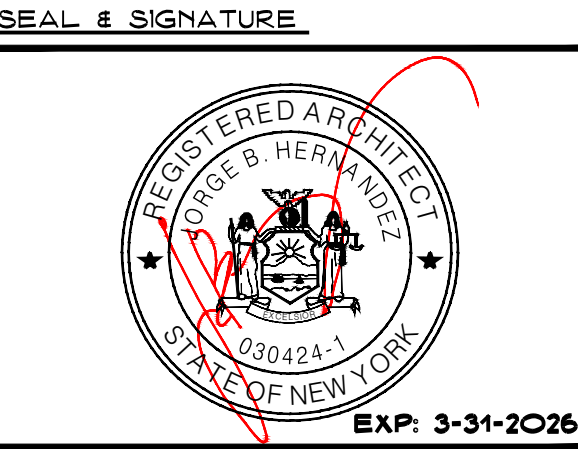
REVISIONS	DATE	BY

PROJECT:
DACRUZ RESIDENCE
ACCESSORY APARTMENT

PROJECT ADDRESS:
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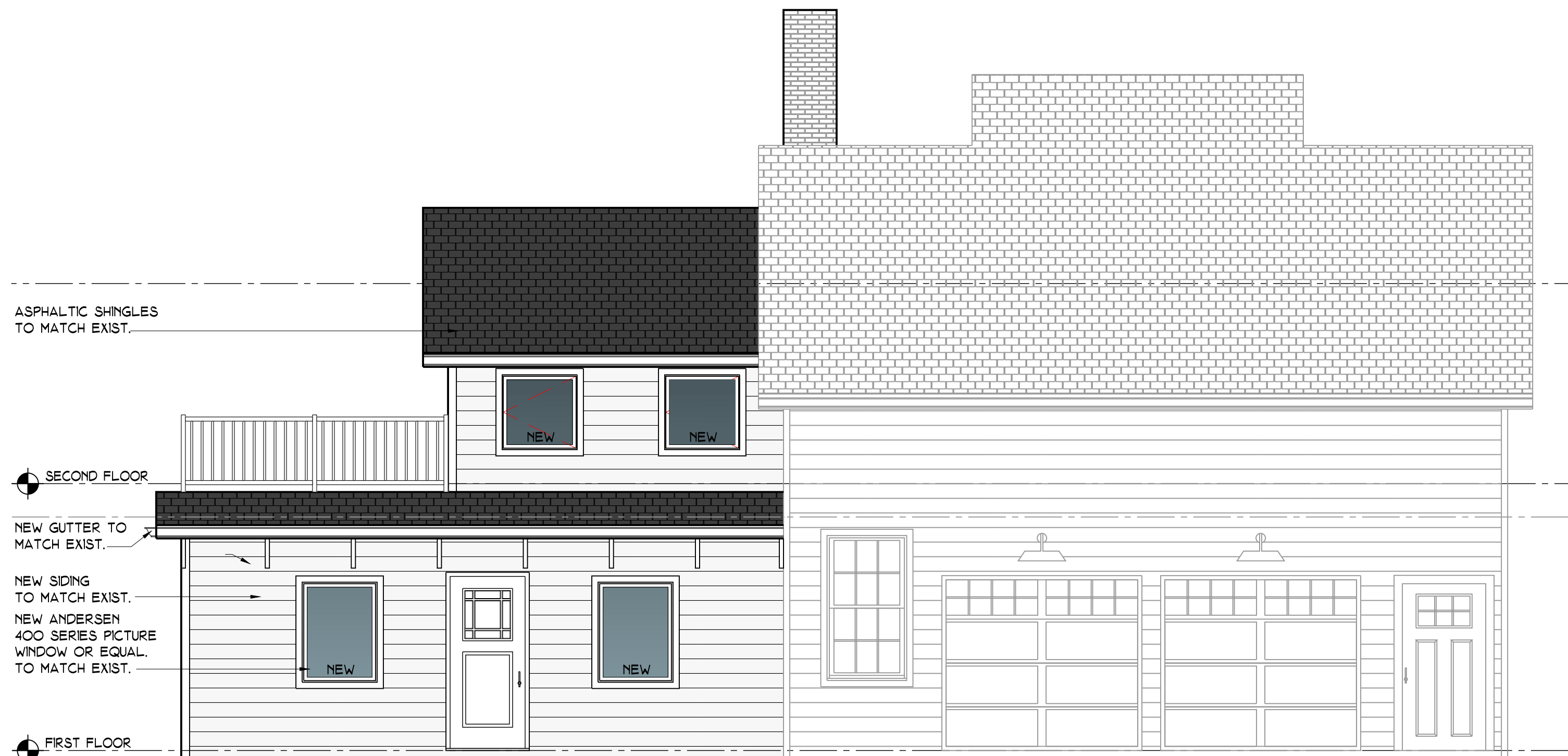
DRAWING TITLE:
EXIST. & PROPOSED
SECOND FLOOR PLAN

DATE: 11/25/2024	DWG. NO.:
PROJECT NO: 24-179	
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EXISTING FRONT ELEVATION

1/4" = 1'-0"



PROPOSED FRONT ELEVATION

1/4" = 1'-0"



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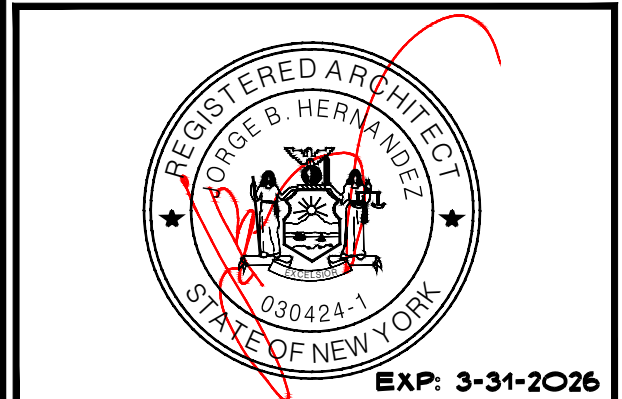
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SEAL & SIGNATURE

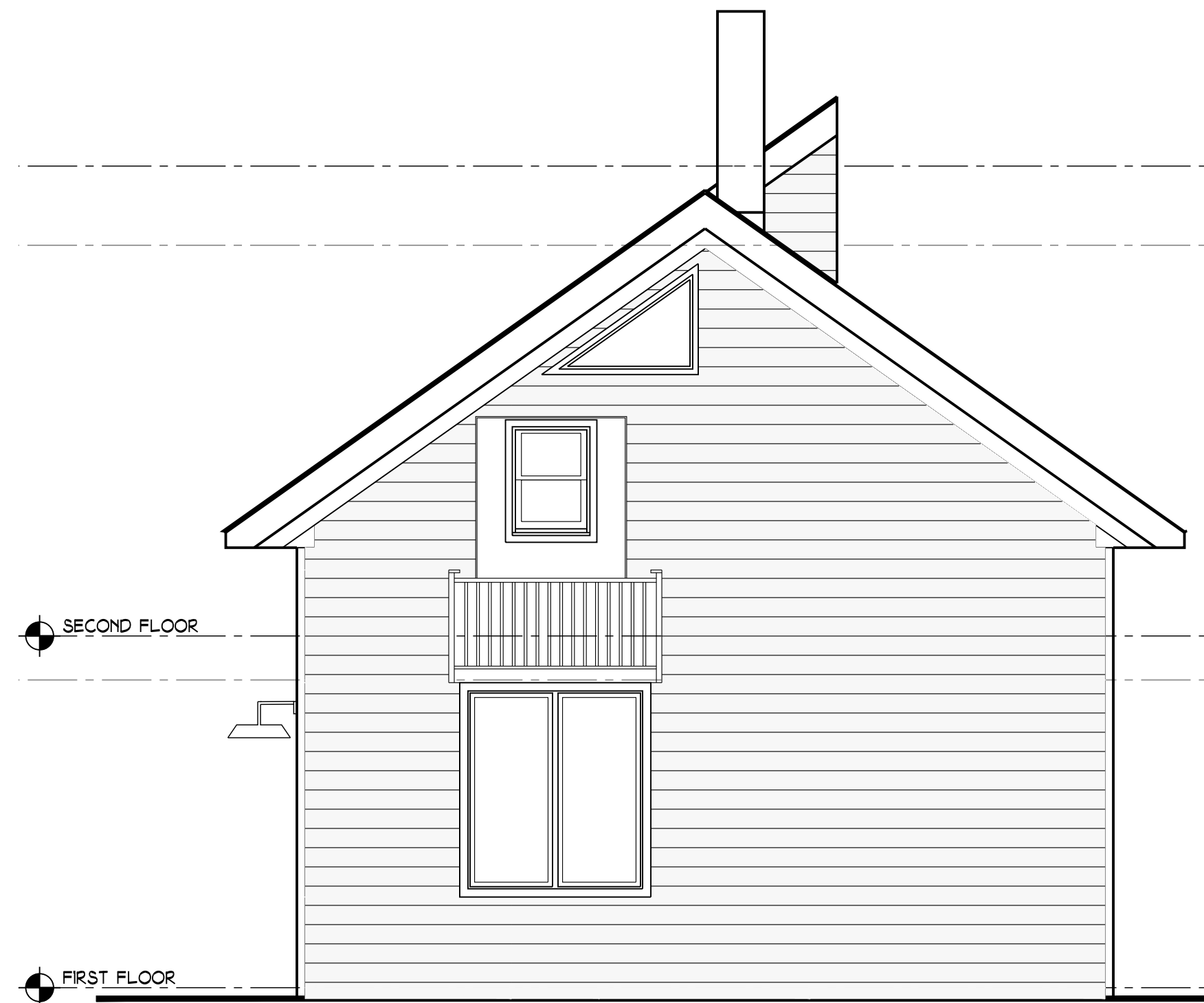


DRAWING TITLE:
EXISTING & PROPOSED
FRONT ELEVATIONS

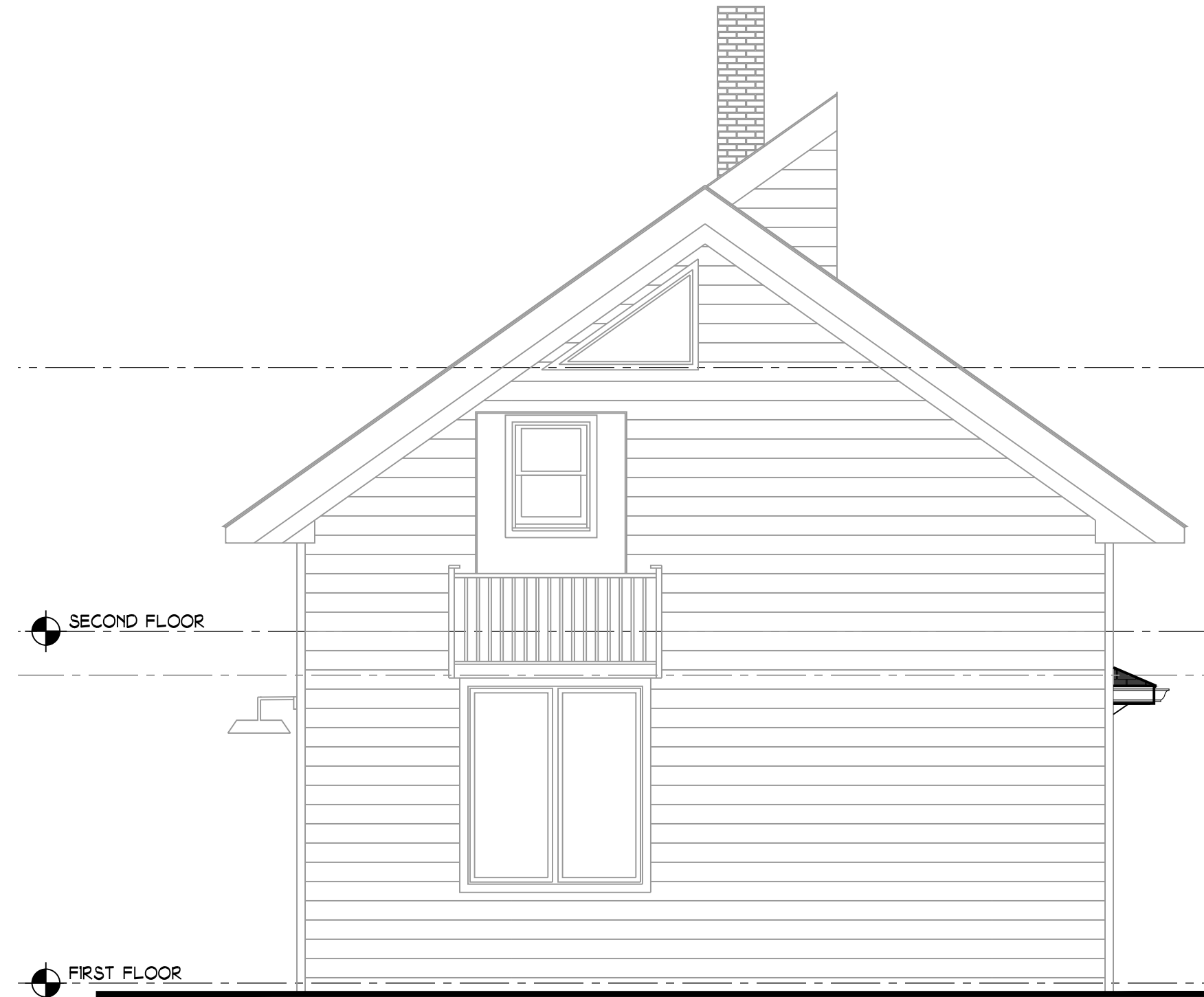
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PROJECT NO: 24-179	
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CHECKED BY: ARQ	

A=200

FOR Z.B.A. APPROVAL PURPOSES



EXISTING RIGHT ELEVATION 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION 1/4" = 1'-0"



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REVISIONS	DATE	BY

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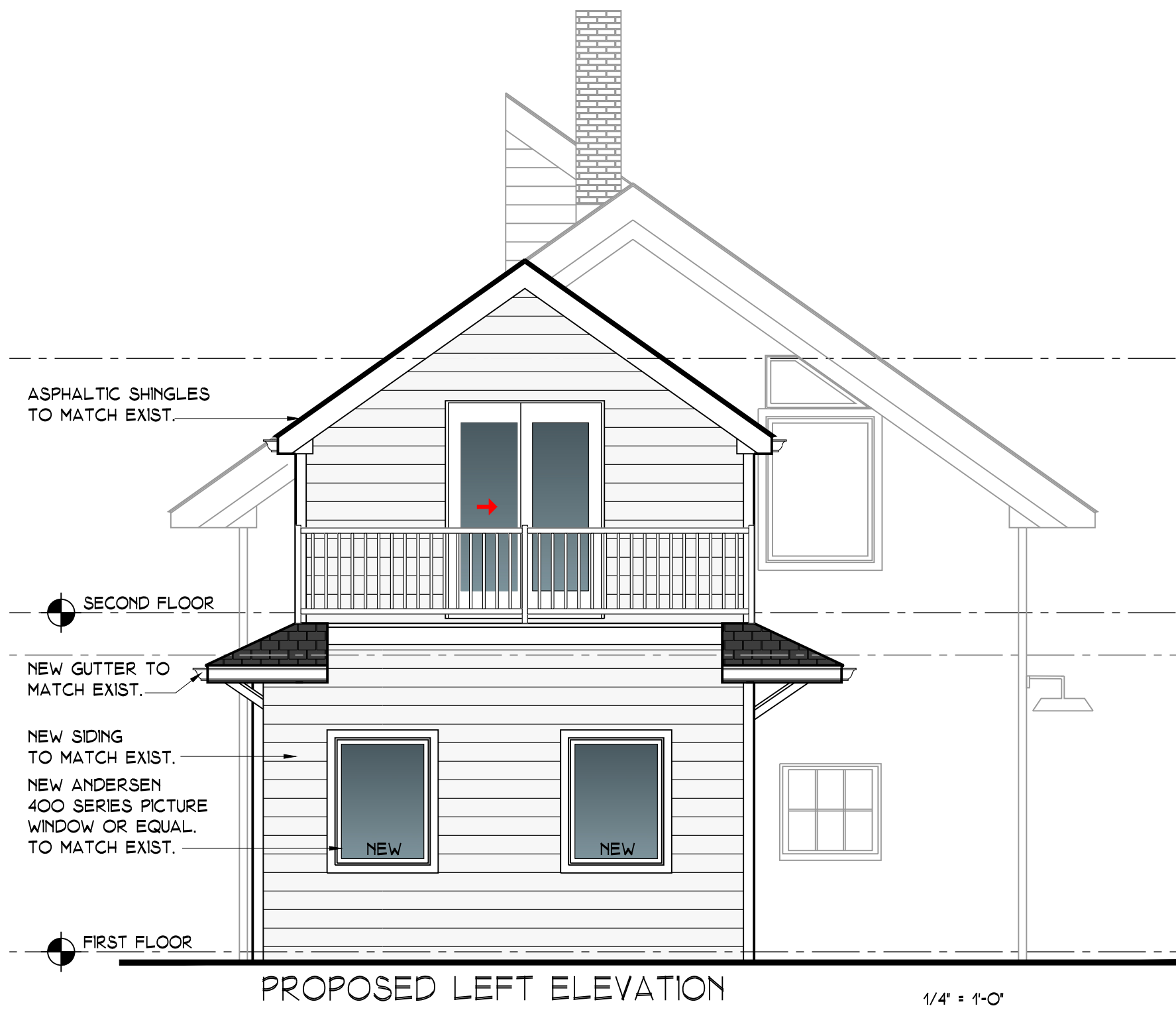
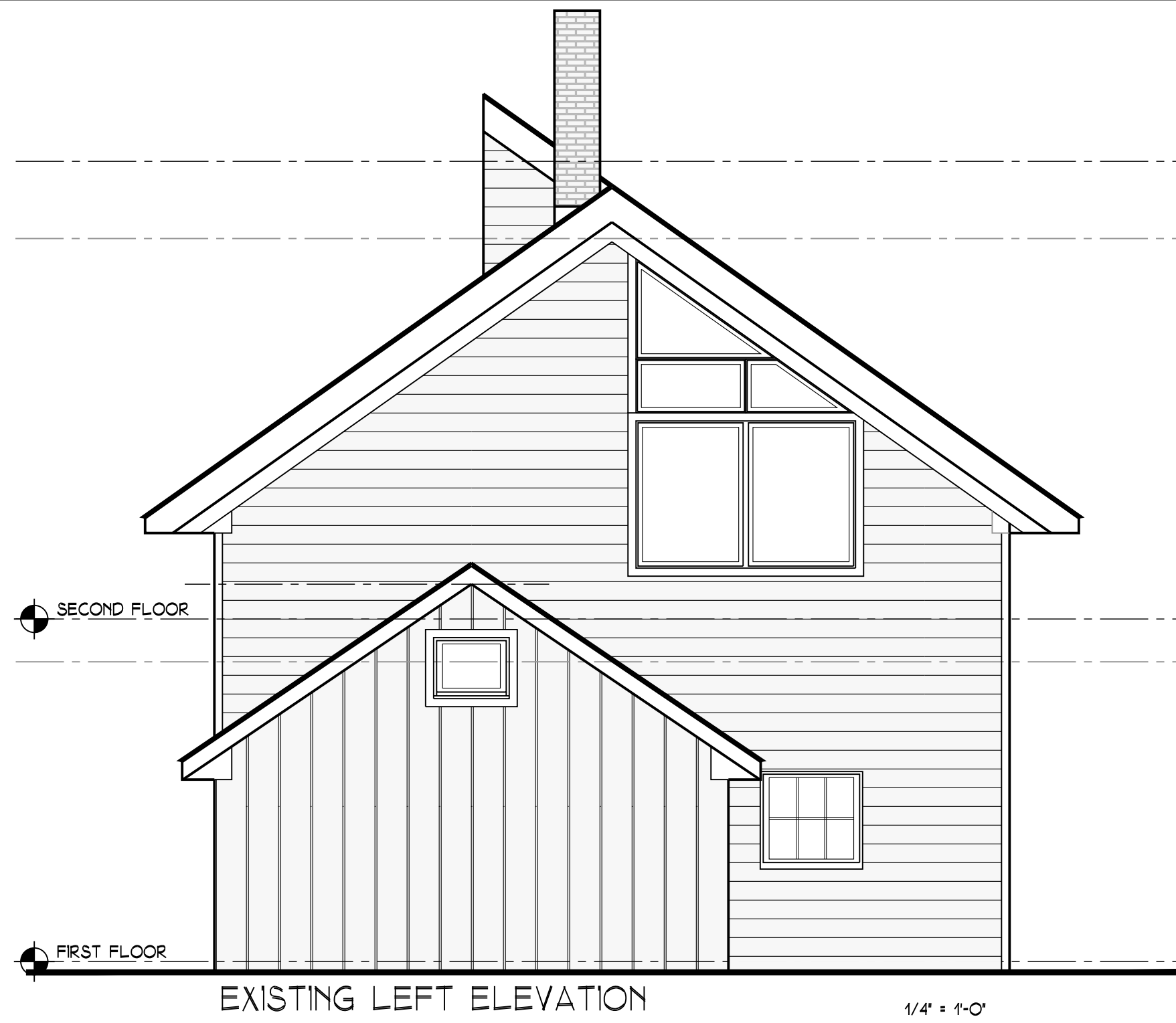
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DRAWING TITLE:
EXIST. & PROPOSED
RIGHT ELEVATIONS

<u>DATE:</u> 11/25/2024	DWG. NO.: A=201
<u>PROJECT NO:</u> 24-179	
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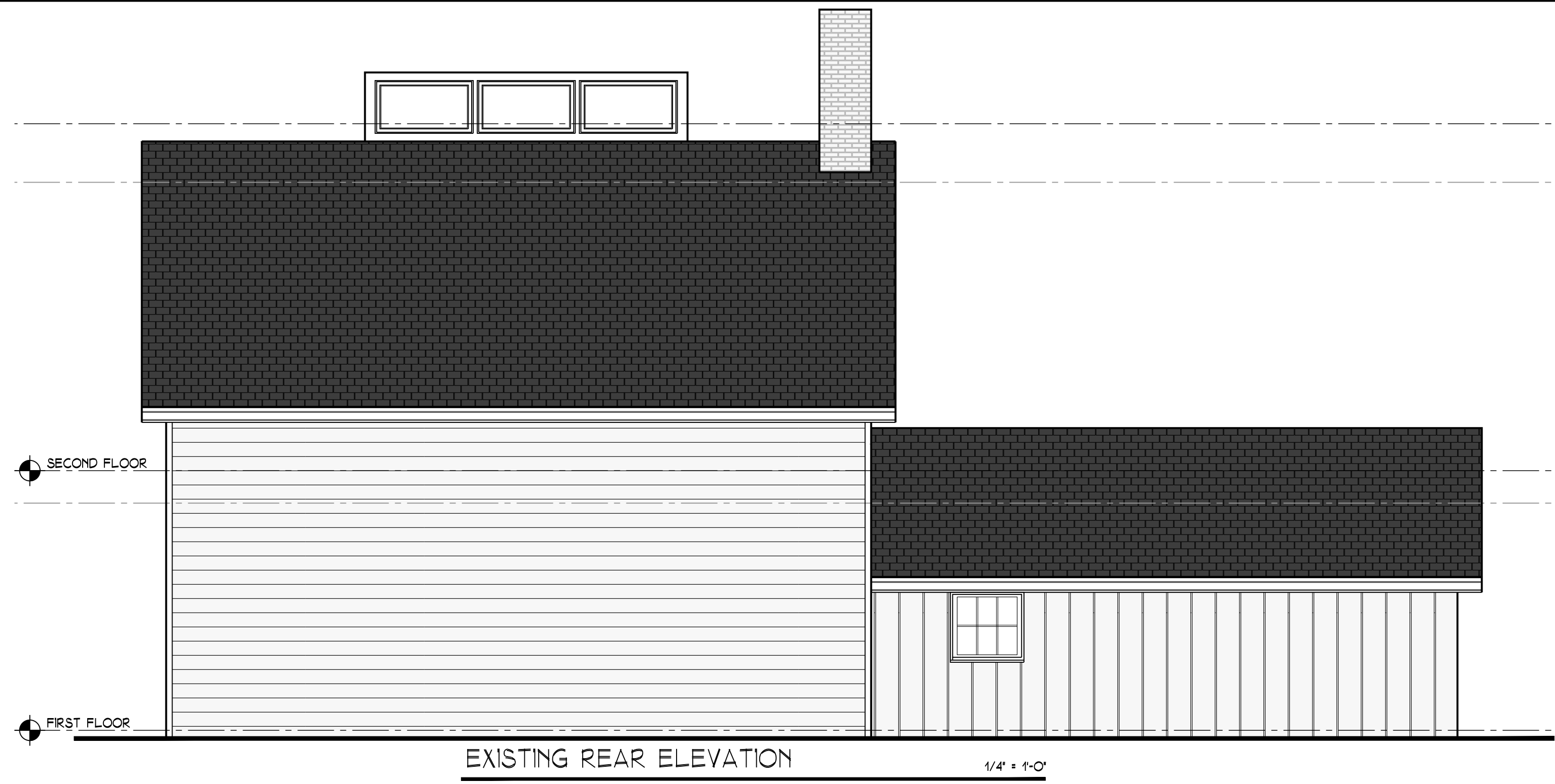
SEAL & SIGNATURE



DRAWING TITLE:
EXISTING & PROPOSED
LEFT ELEVATIONS

<u>DATE:</u> 11/25/2024	DWG. NO.: A-202
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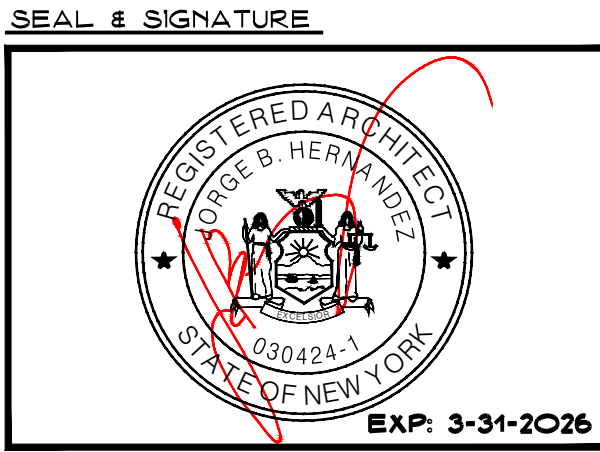
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DRAWING TITLE:
EXISTING & PROPOSED
REAR ELEVATIONS

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PROJECT NO: 24-179	
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