



August 1, 2023

RECEIVED

AUG 1 0 2023

Town of Ossining
Building & Planning Department

Town of Ossining
Building & Planning Department
101 Route 9A
PO Box 1166
Ossining, NY 10562

Re: Building Sign

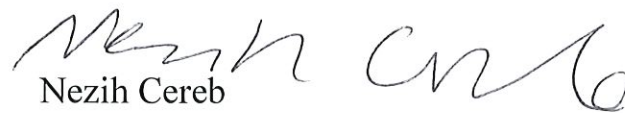
Dear Building Department of Ossining,

HistoGenetics wishes to apply for permission to have a sign installed onto its building at 300 Executive Boulevard, Ossining, NY 10562.

Established at this location for over 20 years, HistoGenetics is a pioneer in human leukocyte antigens (HLA) sequence-based typing (SBT) and genetic testing worldwide.

Included with our sign permit application are drawings and our application fee cheque. We ask that you please process our application for our requested signage.

Sincerely,


Nezh Cereb
Property Owner



300 Executive Blvd
Ossining, NY 10562
Office: +1 914 762 0300
Fax: +1 914-292-3652

300 Executive Blvd
Ossining, NY 10562

914.762.0300 T
914.762.4441 F

www.histogenetics.com



TOWN OF OSSINING
BUILDING & PLANNING DEPARTMENT

101 ROUTE 9A, P.O. Box 1166

OSSINING, N. Y. 10562

PHONE: (914) 762-8419 FAX: (914) 290-4656

Website www.townofossining.com & Email bldgdept@townofossining.com

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AUG 10 2023

Town of Ossining
Building & Planning Department

APPLICATION TO THE ZONING BOARD OF APPEALS

Date August 10, 2023

I, We Nezih Cereb, M.D. Of 300 Executive Boulevard
(Name of Applicant) (Street)

Ossining, N.Y. 10562 914-762-0300 Maria Cuccuillo@histogenetics.com HEREBY
(Municipality) (State) (Zip Code) (Phone No.) (Email) (Assistant)

() APPEAL TO THE ZONING BOARD OF APPEALS FROM THE DECISION OF
THE BUILDING INSPECTOR AND IN CONNECTION THEREWITH REQUEST

() an Interpretation of the Zoning Code or Zoning Map of the Town of Ossining

☒ a Variance from the terms of the Zoning Code of the Town of Ossining, or

() a Temporary Certificate of Occupancy.

() APPLY TO THE ZONING BOARD OF APPEALS FOR A SPECIAL PERMIT.

1. **LOCATION OF PROPERTY:** 300 Executive Blvd., Ossining
(Street and Number)

SECTION 8020 BLOCK 1 LOT 20 ZONE OR-B

A) Is the Property located within a distance of 500 feet of the boundary of any village,
town or county, or any boundary of a State park or parkway?
If yes, specify.

Yes _____ No X

B) Does the Property abut the boundary of any village or town, the boundary of any State
or County park or other recreation area, the right-of-way of any stream or drainage
channel owned by the county or for which the county has established channel
lines, or the boundary of any county or State owned land on which a public building
or institution is located? If yes, specify.

Yes _____ No X

C) If a Special Permit is being applied for, is the property shown on the Hudson
River Valley Commission Jurisdiction Map?

Yes _____ No X

2. PROVISION (S) OF THE ZONING CODE INVOLVED:

Section 200 subsection 19 paragraph C(3)a

Section _____ subsection _____ paragraph _____

Section _____ subsection _____ paragraph _____

3. DESCRIPTION OF RELIEF REQUESTED (Set forth the circumstances of the case, interpretation that is claimed and details of any variance applied for. Use extra sheet if necessary.)

Our 30,000 square foot building will need to have a sign ("HISTOGENETICS") large enough on its exterior so it can be seen from the street (Executive Blvd).

4. REASON FOR APPEAL (State precisely grounds on which it is claimed that relief should be granted. Use extra sheet if necessary.)

A 12 foot sign ~~on~~ on the Building will not be visible from the street. A larger more accurate and appropriate size sign is needed to be seen.

5. Enclose 10 copies and 1 pdf version of an accurate and intelligible plan, survey, location map, of the Property drawn to a suitable scale email to bldgdept@townofossining.com and a nonrefundable fee of \$350.00 payable to Town of Ossining.


(Signature of Property Owner or Authorized Agent)

Chapter 200. Zoning

Article III. Use Regulations

§ 200-19. O-RB Office-Research Business District.

[Amended 9-16-1969 by Ord. No. 73; 8-11-1981 by Ord. No. 109; 6-12-1984 by Ord. No. 116; 3-26-1985 by L.L. No. 2-1985; 6-23-1992 by L.L. No. 3-1992; 4-12-2011 by L.L. No. 5-2011]

In an O-RB Office-Research Business District, no building or premises shall be used, and no building or part of a building shall be erected or altered, which is arranged, intended or designed to be used, in whole or in part, for any purpose except the following, and all such uses shall be subject to site plan approval in accordance with § **200-50** hereof.

A. Permitted uses.

- (1) Office buildings for business and professional offices, research, design and development laboratories, including incidental clinics, cafeterias and recreation facilities for the exclusive use of company employees, subject to the performance standards set forth in Subsection F.
- (2) Governmentally owned and operated buildings and uses.
- (3) Public utility structures and underground utility lines.
- (4) Child-care and elder-care facilities.
- (5) Health clubs and spas.
- (6) Fully enclosed eating and drinking establishments.
- (7) Fully enclosed recreation facilities.
- (8) Personal service establishments.

B. Conditional uses permitted upon approval by the Planning Board in accordance with Article **XI** hereof. The following conditional uses are permitted subject to approval by the Planning Board in accordance with § **200-49** hereof. These uses are subject to the requirements specified below and elsewhere in this chapter, including site plan approval in accordance with § **200-50** hereof.

- (1) Conference centers for meetings of companies and corporations, trade societies and like groups and transient living accommodations for attendees.
- (2) Tier 3 solar energy systems, subject to § **200-31.3**.
[Added 12-18-2018 by L.L. No. 1-2019]

- (3) Tier 2 battery energy storage systems, subject to § **200-31.4**.
[Added 1-26-2021 by L.L. No. 2-2021]

C. Accessory uses.

- (1) Accessory garages, fire protection monitors, cafeterias and other auxiliary installations.
- (2) Parking and loading areas.
- (3) The following signs, subject to § **200-28**:
 - (a) An identification sign not exceeding 12 square feet in area, provided that not more than one such sign shall be permitted for each tenant on the premises.
 - (b) Necessary directional signs, none of which shall exceed five square feet in area.
- (4) Dwellings only for use of bona fide caretakers or watchmen and their families.
- (5) Retail space of the newspaper/candy/sundry store variety, so long as this space is clearly incidental to the principal use of the building in which it is located and is clearly intended but is not necessarily restricted to be patronized by only the employees of such building.
- (6) Tier 1 solar energy systems, subject to § **200-31.3**.
[Added 12-18-2018 by L.L. No. 1-2019]
- (7) Tier 2 solar energy systems, subject to § **200-31.3**.
[Added 12-18-2018 by L.L. No. 1-2019]
- (8) Tier 1 battery energy storage systems, subject to § **200-31.4**.
[Added 1-26-2021 by L.L. No. 2-2021]

D. Prohibited uses. The following uses are prohibited in the O-RB District:

- (1) Residence, except as set forth in Subsection **C(4)**.
- (2) All business and commercial uses in which there is retail sale of goods or commercial service of products, including lumber and building materials and equipment, sales, storage and service.
- (3) All uses and activities that do not meet the performance standards set forth in Subsection **F**.
- (4) All manufacturing uses or uses of a heavy industrial nature, including:
 - (a) Primary production from raw materials, such as but not limited to asphalt, cement, charcoal, fuel briquettes, chemicals and related products which may be dangerous, offensive or create nuisances violative of the intent of the performance standards set forth in Subsection **F**, and processes whether or not related to such production, including but not limited to nitrating, milling, reduction, refining, melting, alloying and distillation.
 - (b) Operations involving stockyards and slaughterhouses, grain elevators and slag piles.
 - (c) Bulk storage of flammable products aboveground.
 - (d) Dumps, except those owned and/or operated by the Town.

Chapter 200. Zoning

Article V. Supplementary Regulations

§ 200-28. Signs.

- A. No sign, billboard, advertising display or structure, poster or device shall be erected, moved, enlarged or reconstructed except as expressly permitted in this chapter.
- B. The following types of signs or artificial lighting are prohibited:
[Amended 9-16-1969 by Ord. No. 73]
 - (1) Billboards.
 - (2) Flashing or revolving or neon-lettered signs, including any sign or device on which the artificial light is not maintained stationary and constant in intensity and color at all times when in use.
[Amended 6-19-1973 by Ord. No. 79]
 - (3) Signs which compete for attention with or may be mistaken for a traffic signal.
 - (4) The outlining by direct illumination of all or any part of a building, such as a gable, roof, side, wall or corner.
 - (5) Signs made of cardboard, paper, canvas or similar impermanent material, except those inside a window, which shall not exceed an area in excess of 25% of the exposed window area.
[Amended 6-19-1973 by Ord. No. 79]
 - (6) Roof signs.
[Added 6-19-1973 by Ord. No. 79]

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: <i>Signage for Business</i>			
Project Location (describe, and attach a location map): <i>TOP of Building #300 Executive Boulevard</i>			
Brief Description of Proposed Action: <i>A sign ("HISTOGENETICS") to be placed on the building</i>			
Name of Applicant or Sponsor: <i>Nezih Cereb</i>		Telephone: <i>914-762-0300</i>	
		E-Mail: <i>Maria Cuccumillo@histogenetics.com</i> <i>(ASSISTANT)</i>	
Address: <i>300 Executive Boulevard</i>			
City/PO: <i>OSSENING</i>		State: <i>NY</i>	Zip Code: <i>10562</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO ☒	YES ☐
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO ☒	YES ☐
3. a. Total acreage of the site of the proposed action? <i>2.36</i> acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action: ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☐ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify): ☐ Parkland			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☐ Urban ☒ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO ☒	YES ☐
16. Is the project site located in the 100-year flood plan?	NO ☒	YES ☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO ☒	YES ☐
a. Will storm water discharges flow to adjacent properties?	☒	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	☒	☐
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO ☒	YES ☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO ☒	YES ☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO ☒	YES ☐
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Maria Cuccurullo</u> Date: <u>08/09/2023</u>		
Signature: <u>[Signature]</u> Title: <u>Administrative Assistant</u>		

52ft Lineal Frontage

620.71 in



SIDE VIEW

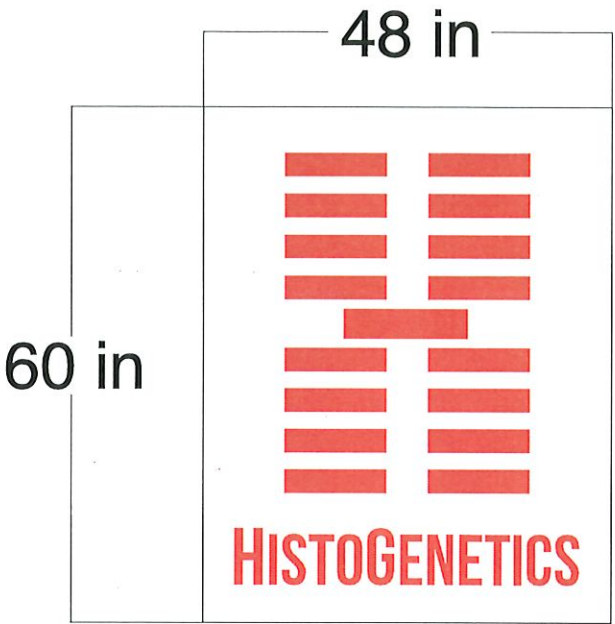
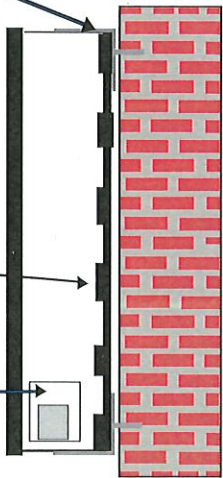
.125" Alum Returns

3/16" Acrylic Face

LED illumination

Transformer

1" trim cap



FASTENER SCHEDULE (BOX SIGN)			WALL CONSTRUCTION			
HARDWARE	DIAM.	O.C. Spacing Max.	MASONRY (CMU- Block)	EFIS/DRYVIT OVER min. 3/4" PLYWOOD	EFIS/DRYVIT OVER GYPSUM/ DENSGLOSS	METAL PANEL OVER METAL STUD
THRU-BOLT	3/8"	32in.	YES	YES	ONLY WITH BACKER (MIN. 3/4" PLYWOOD)	YES
POWERS DBL. EXPANSION ANCHOR	3/8"	30in.	YES ²	NO	NO	NO
LAG BOLT	3/8"	16in.	NO	YES	NO	NO
SNAP TOGGLE BOLT TYPE BC	3/8"	24in.	IF THROUGH BLOCK FACE	YES	ONLY WITH MIN. 3/4" PLYWOOD BACKER	YES with plywood backer
SS Tek-Screw	1/4"	N/A	NO	NO	NO	YES into 1/8" Alum or 1/16" Steel

1.) Fasteners shall be evenly spaced Top and Bottom w/4" Side end clearance. Through Min. 1/8" Alum. mounting angles with washers.
2.) Expansion anchors require a minimum 1-3/4" solid masonry embedment installed per/tec-guide for wall construction type.
3.) Tek-Screw into Min. 1/8" Alum. and Lag bolts into Min. 3/4" plywood require full thread Diam. embedment.
4.) Thru-Bolts (All-Threaded Rods) into L2x2x3/16" Stl. Angle or P1000 Uni-Strut or 2x6 lumber spanning two(2) wall studs per/Bolt - Rod

Engineers Connection Note:
Provide fasteners through Min. 1/8" Alum. sign box framing/structure with washers using the fastener schedule for existing wall construction type to determine the fastener type and Max. O.C. bolt spacing to install evenly spaced around the perimeter, with a 4" Max. end clearance.
- All fasteners must be installed per/manufacture's Tech Guide.
- Contact Murdoch Engineering for revision if field conditions vary.

Team Hicksville
Signarama
The way to grow your business.

485-34 S. Broadway
Hicksville, NY 11801

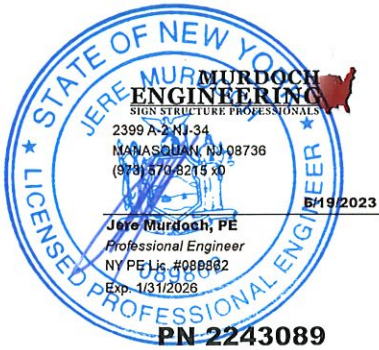
516.938.2370

signsofbusiness.com

A  CERTIFIED COMPANY



Client: Ayla Pacci
Company: HistoGenetics
Location: 300 Executive Blvd Ossining , NY 10562 US
Sales Rep: Pat Byrnes
Size: 360"h x 48"w I 620" Elevation I 52ft lineal frontage
Quantity: 1
Sides: Single Sided
Materials: Acrylic 3/16" White Face inserted into
60"h x 48" light box



DESIGN SPECIFICATIONS	
NYS Building Code 2020	
ASCE 7-16	Minimum Design Loads for Buildings & Other Structures
ACI 318-14	Building Code Requirements for Structural Concrete
ANSI/AISC 360-16	Specification for Structural Steel Buildings
DESIGN LOADS	
Wind	V = 115 mph
Exposure	C
Risk Cat.	II
Grnd. Snow	Pg = 30 psf