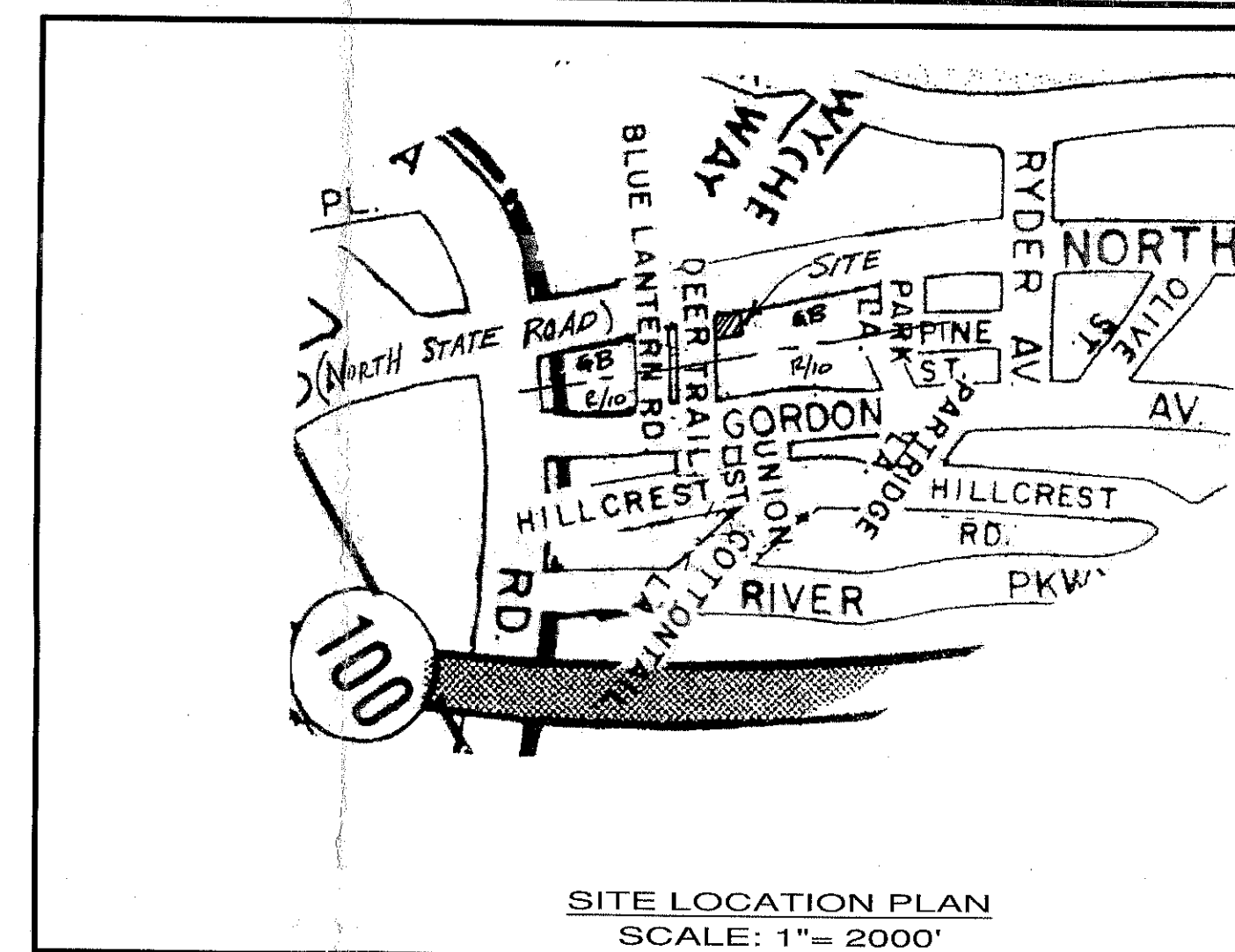
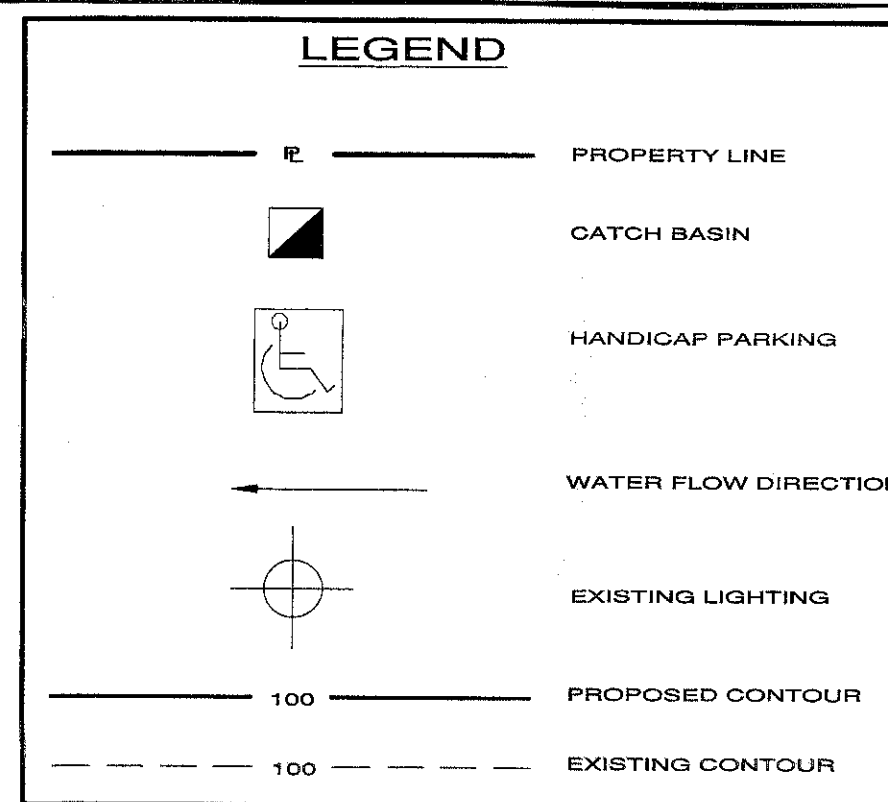
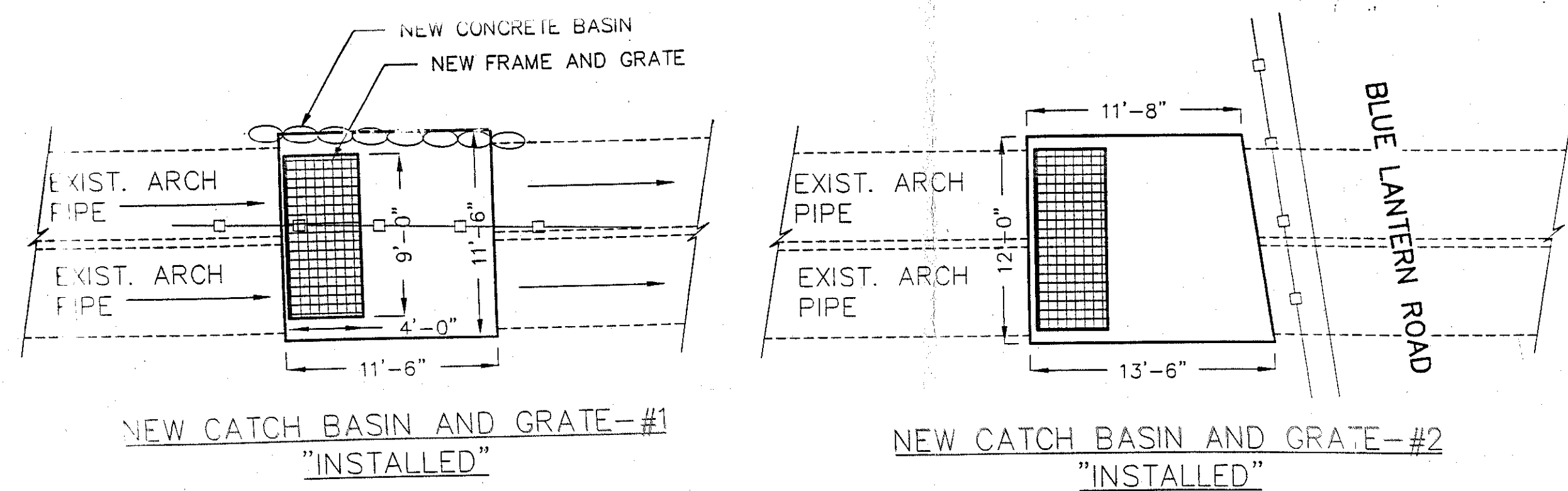
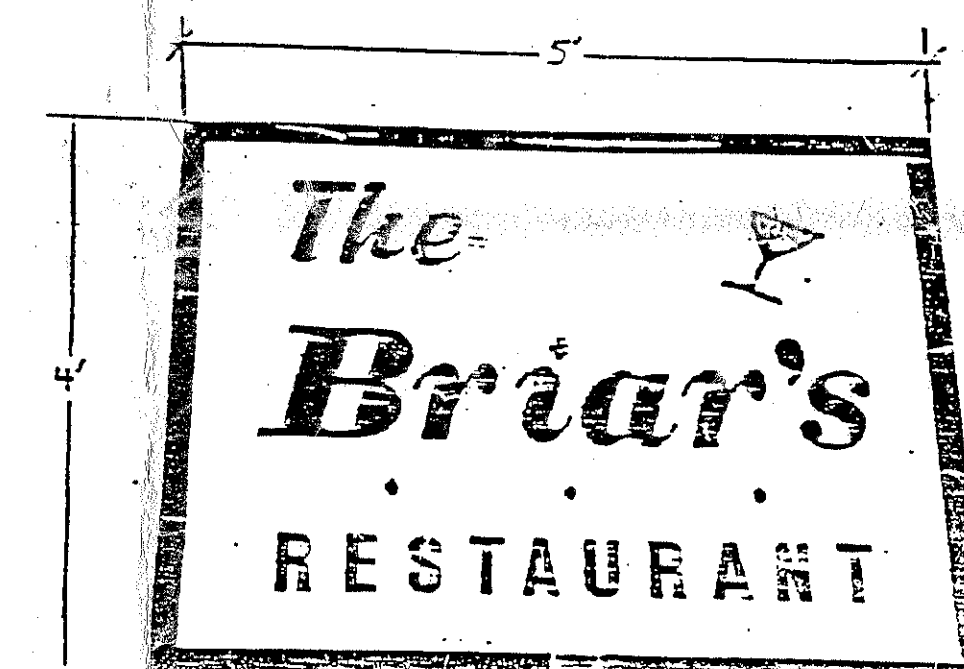
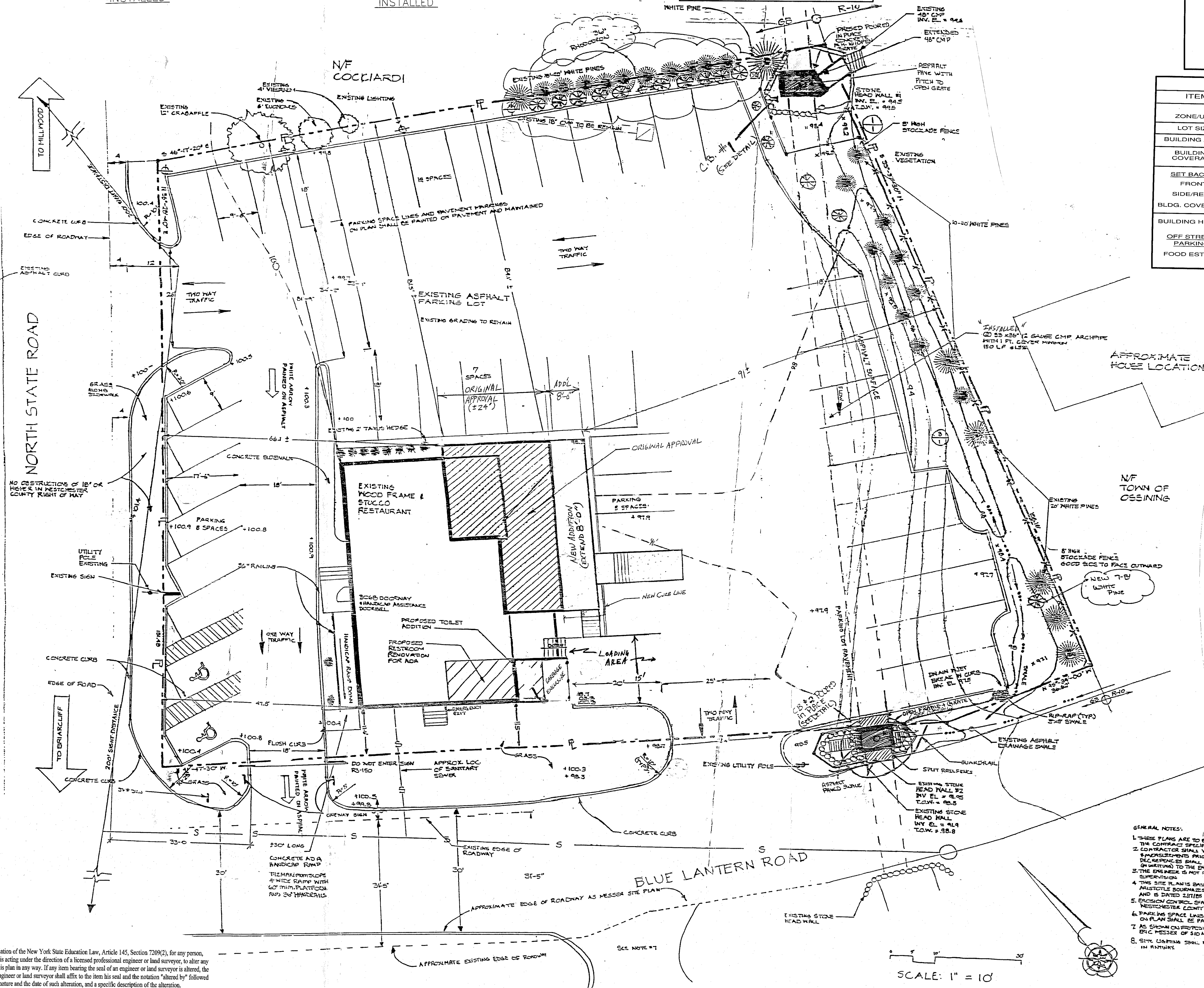


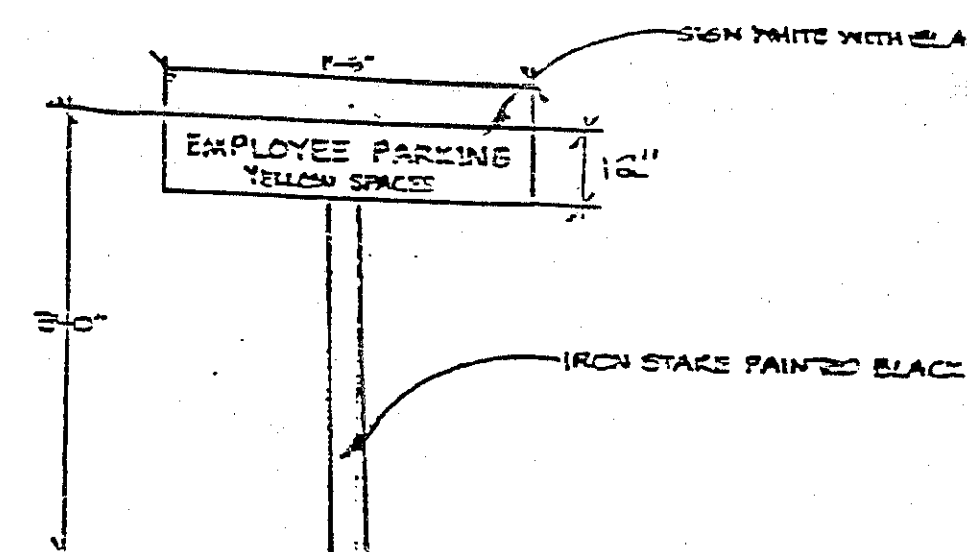


G.B. ZONING DATA			
ITEM	REQUIRED	EXISTING	PROPOSED
ZONE/USE	GENERAL BUSINESS	FOOD ESTABLISHMENT	FOOD ESTABLISHMENT
LOT SIZE	20,000 S.F. MIN.	30,227 S.F.	30,227 S.F.
BUILDING AREA		1,910 S.F.	930 S.F. ADDITION (1ST FLR.)
BUILDING COVERAGE	30% MAX.	6.3%	2,840/30,227 = 9.4%
SET BACKS:			
FRONT	30'	37'	37'
SIDE/REAR	NONE/30'	11.5/113'	11.5/91'
BLDG. COVERAGE	30% MAX.	6.3%	2,840/30,227 = 9.4%
BUILDING HEIGHT	2 STORY-35'	2 STORY-30'	2 STORY-30'
OFF STREET PARKING:			
FOOD ESTABL.	1 SPACE/3 SEATS	89 EXISTING SEATS 50 EXIST. SPACES	140 TOTAL SEATS 140 / 3 = 47 SPACES REQ'D. PROPOSED 54 SPACES

DESIGN ENGINEER
STEPHEN J. FERREIRA, P.E.
P.O. BOX 1047
NEW MILFORD, CT 06776
PHONE: (860) 350-2499 FAX: (860) 210-0004



EXISTING SIGN
N.T.S.



⑤ EMPLOYEE PARKING SIGN DETAIL
N.T.S.

- GENERAL NOTES:
1. THESE PLANS ARE TO BE IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.
 2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS BEFORE BEGINNING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
 3. THE ENGINEER IS NOT RESPONSIBLE FOR ANY SITUATION OF OVERSIGHT.
 4. THIS SITE PLAN IS BASED ON A SURVEY PREPARED BY THE WESTCHESTER COUNTY SURVEYOR'S OFFICE.
 5. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES.
 6. PARKING SPACE LINES AND PAVEMENT MARKINGS ON PLAN SHALL BE PAINTED OUTDOORLY AND MAINTAINED.
 7. AS SHOWN ON PROPOSED PLANS, THE EXISTING DRIVE PAVEMENT OF 30' NORTH STATE ROAD SHALL BE MAINTAINED.
 8. SITE LIGHTING SHALL NOT BE AFFECTED OR INTERRUPTED IN ANY MANNER.

REV. 11 4/12/07
REV. 10 1/12/04
REV. 9 1/12/04
REV. 8 1/12/04
REV. 7 1/12/04
REV. 6 1/12/04
REV. 5 1/12/04
REV. 4 1/12/04
REV. 3 1/12/04
REV. 2 1/12/04
REV. 1 1/12/04

SCALE: 1" = 10'

It is a violation of the New York State Education Law, Article 145, Section 2209(2), for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor, to alter any item on this plan in any way. If any item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

SITE IMPROVEMENT PLAN
BRIAR'S RESTAURANT
512 NORTH STATE ROAD
BRIARCLIFF MANOR, NY 10510
TOWN OF OSSINING
WESTCHESTER COUNTY
SECT: 1 PR: 8A BLK: 3 LOT: 1

SP-1

This Site Plan approved by the Town of Ossining Planning Board by resolution dated 8-22-07.
Town of Ossining Planning Board
CHAIRMAN: [Signature]
SECRETARY: [Signature]
DATE: 8-23-07

IT IS THE CONTRACTORS RESPONSIBILITY TO READ AND UNDERSTAND THESE PLANS AND SPECIFICATIONS. FOR CLARIFICATIONS, CONTACT THE ENGINEER OR ARCHITECT OF RECORD. THESE CONSTRUCTION DOCUMENTS ARE AN ADDENDUM TO ANY WRITTEN OR ORAL CONTRACT.

DESIGN PLANS AND SPECIFICATIONS

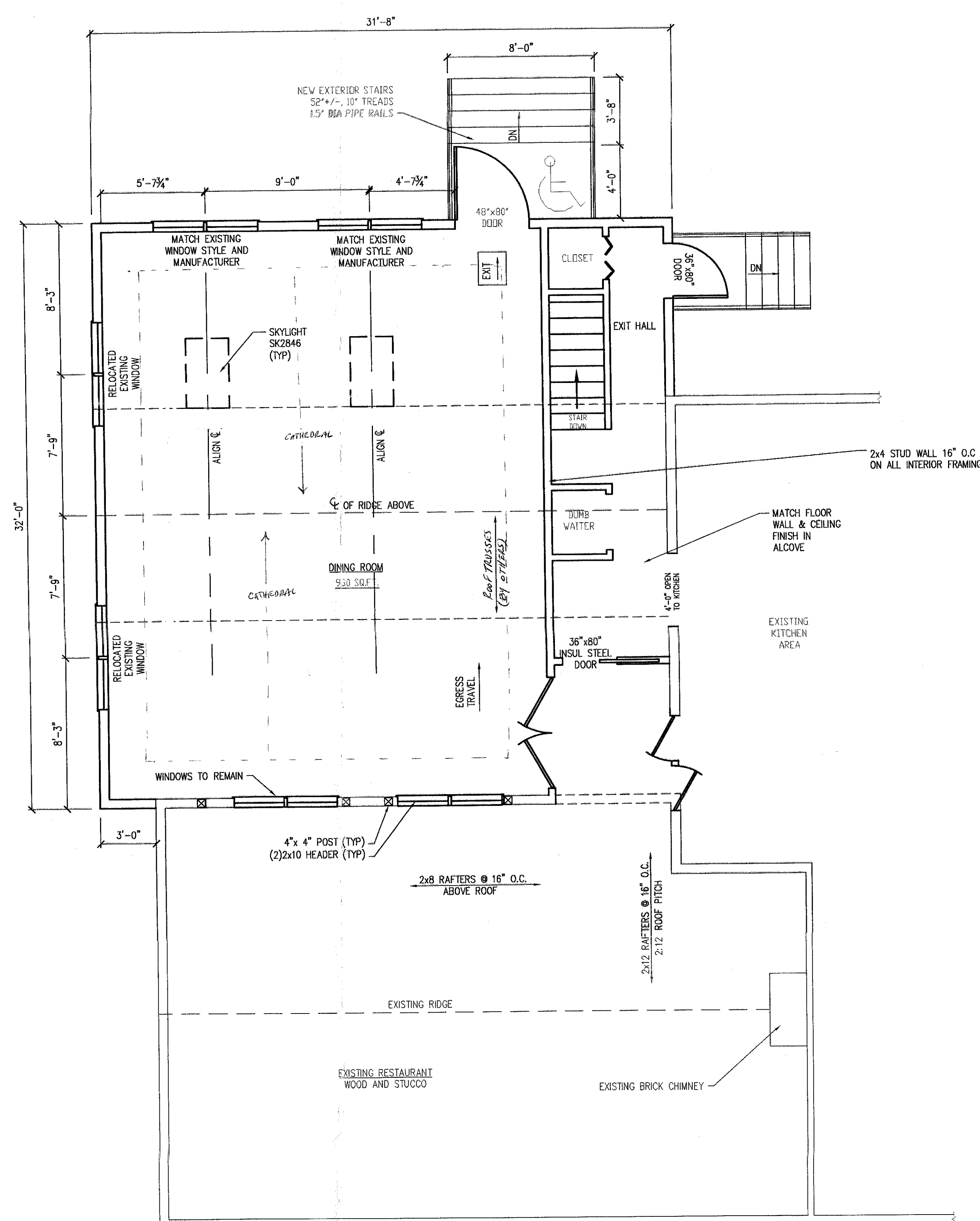
- 1) THE DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION OR THE SAFETY OF THE CONSTRUCTION SITE. THE DESIGN PROFESSIONAL SHALL BE GRANTED FREE ACCESS TO THE CONSTRUCTION SITE.
- 2) NO CHANGES CAN BE MADE TO THESE DESIGN PLANS WITHOUT CONSENT OF THE DESIGN PROFESSIONAL. ALL SUCH CHANGES SHALL BE FILED WITH THE BUILDING DEPARTMENT.
- 3) ALL HANDWRITTEN NOTES SHALL TAKE PRECEDENCE OVER TYPEWRITTEN NOTES.
- 4) ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 5) THE DESIGN PROFESSIONAL DISCALIMS ANY RESPONSIBILITY FOR THE DESIGN OF THE ELECTRICAL AND MECHANICAL SYSTEMS. THESE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND ALL LOCAL, STATE AND COUNTY CODES THAT GOVERN.
- 6) REPRODUCTION OF THESE PLANS FOR PROJECTS OTHER THAN THE ONE ORIGINALLY INTENDED IS PROHIBITED WITHOUT AUTHORIZATION FROM THE DESIGN PROFESSIONAL.
- 7) ALL LARGE SCALE DRAWINGS, PLANS, SECTIONS, DETAILS AND ELEVATIONS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

GENERAL CONTRACTOR RESPONSIBILITIES

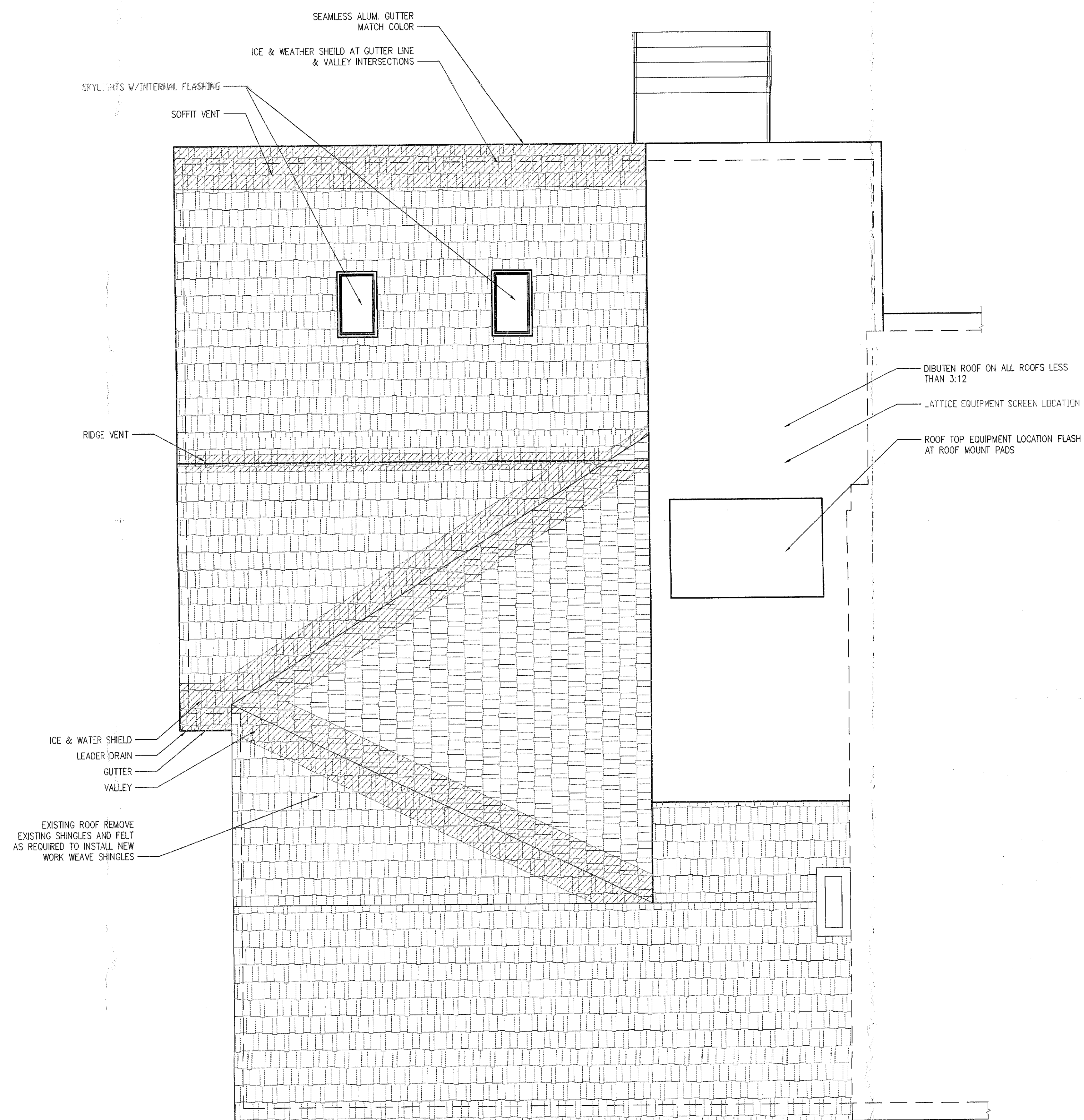
- 1) THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE NECESSARY PERMITS TO PERFORM THE WORK UNDER THIS CONTRACT. IF THE CONTRACTOR SECURES THE PERMIT, A COPY SHALL BE FURNISHED TO THE OWNER.
- 2) THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE LICENSED TO PERFORM WORK NECESSARY TO COMPLETE THE PROJECT.
- 3) THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT PRIOR TO PROVIDING A BID TO PERFORM THE WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE DESIGN PROFESSIONAL AND OWNER IF ANY DISCREPANCIES HAVE BEEN DISCOVERED.
- 4) THE CONTRACTOR SHALL PROVIDE DIRECT SUPERVISION FOR THE WORK IDENTIFIED IN THESE DESIGN PLANS. HE SHALL ALSO BE DIRECTLY RESPONSIBLE FOR THE WORK PERFORMED BY THE SUBCONTRACTORS AND ALL ASSOCIATED COORDINATION OF SUBCONTRACTORS.
- 5) ALL WORKMANSHIP SHALL CONFORM TO THE GENERALLY ACCEPTED GOOD PRACTICE AND QUALITY EXPECTED FROM A PROFESSIONAL CONTRACTOR.
- 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE JOB SITE AND HIS WORKERS AND SUBCONTRACTOR. SAFETY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN, STATE, FEDERAL AND LOCAL CODES.
- 7) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING AND PROPOSED STRUCTURE AND ITS OCCUPANTS DURING CONSTRUCTION. THIS INCLUDES BUT NOT LIMITED TO STRUCTURAL SUPPORT, DUST & NOISE CONTROL, MOISTURE PROTECTION, CLIMATE CONTROL AND DAMAGE DURING DEMOLITION.
- 8) ALL WORK SHALL BE PERFORMED IN ACCORDANCE TO ALL APPLICABLE BUILDING CODES, ZONING REGULATIONS, ENERGY CODE AND LAWS.

CONSTRUCTION MATERIALS

- 1) ALL STRUCTURAL STEEL SHALL BE ASTM A36 STEEL AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- 2) ALL STRUCTURAL CONCRETE SHALL BE A MINIMUM 3000 PSI AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE, LATEST.
- 3) ALL STRUCTURAL LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER AND HAVE A MINIMUM BENDING STRESS OF 1400 PSI.
- 4) ALL WINDOW AND DOOR HEADERS SHALL HAVE A MINIMUM DOUBLE 2X10 WITH 3/4 INCH PLYWOOD WEDGED BETWEEN THE TWO PIECES OF LUMBER. THEY SHALL BE SUPPORTED BY TWO JACK STUDS WITH SOLID BEARING UNLESS OTHERWISE NOTED.
- 5) ALL STEEL LINTELS SHALL BE MINIMUM (2) 4"x3.5"x 1/2" FOR BLOCK WORK AND (1) FOR BRICK WORK.
- 6) ALL JOISTS SHALL BE DOUBLED UNDER ALL PARALLEL WALLS AND BLOCKED SOLID UNDER ANY WALLS PERPENDICULAR TO THE WALLS. BRIDGING SHALL BE INSTALLED ON ALL JOISTS LARGER THAN 2X10, SPACED 8'-0" MAX BRIDGING SHALL BE INSTALLED PRIOR TO ADDING ADDITIONAL LOADS ABOVE.
- 7) ALL WOOD MATERIAL PLACED AGAINST CONCRETE MASONRY SHALL BE PROTECTED FROM ROT AND DECAY. THEY SHALL ALSO BE CAULKED AND SEALED FROM AIR INFILTRATION.
- 8) ALL FOOTING SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 1.5 TONS/SQ.-FT. WHERE FOOTINGS BEAR ON ROCK, THE FOOTING SHALL BE PINNED WITH A #4 BAR INSERTED 24" O.C. HAVING A MINIMUM 6" EMBEDMENT.
- 9) ALL FOOTINGS SHALL HAVE A MINIMUM DEPTH OF 3'-6" BELOW GRADE.
- 10) ALL EXTERIOR GRADES SHALL BE SLOPED AWAY FROM THE STRUCTURE.
- 11) ALL METAL CONNECTORS, PLATES, SCREWS, BOLTS, NAILS, HANGERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- 12) ANY CONTRACTOR INSTALLED MATERIAL NOT IN ACCORDANCE WITH THE PLANS OR NOT INSTALLED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT NO COST TO THE OWNER.

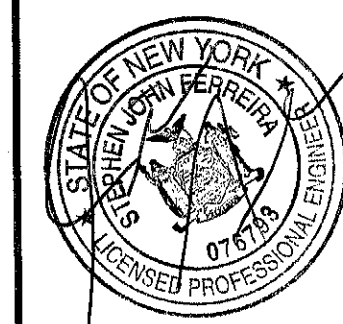


FLOOR PLAN
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"

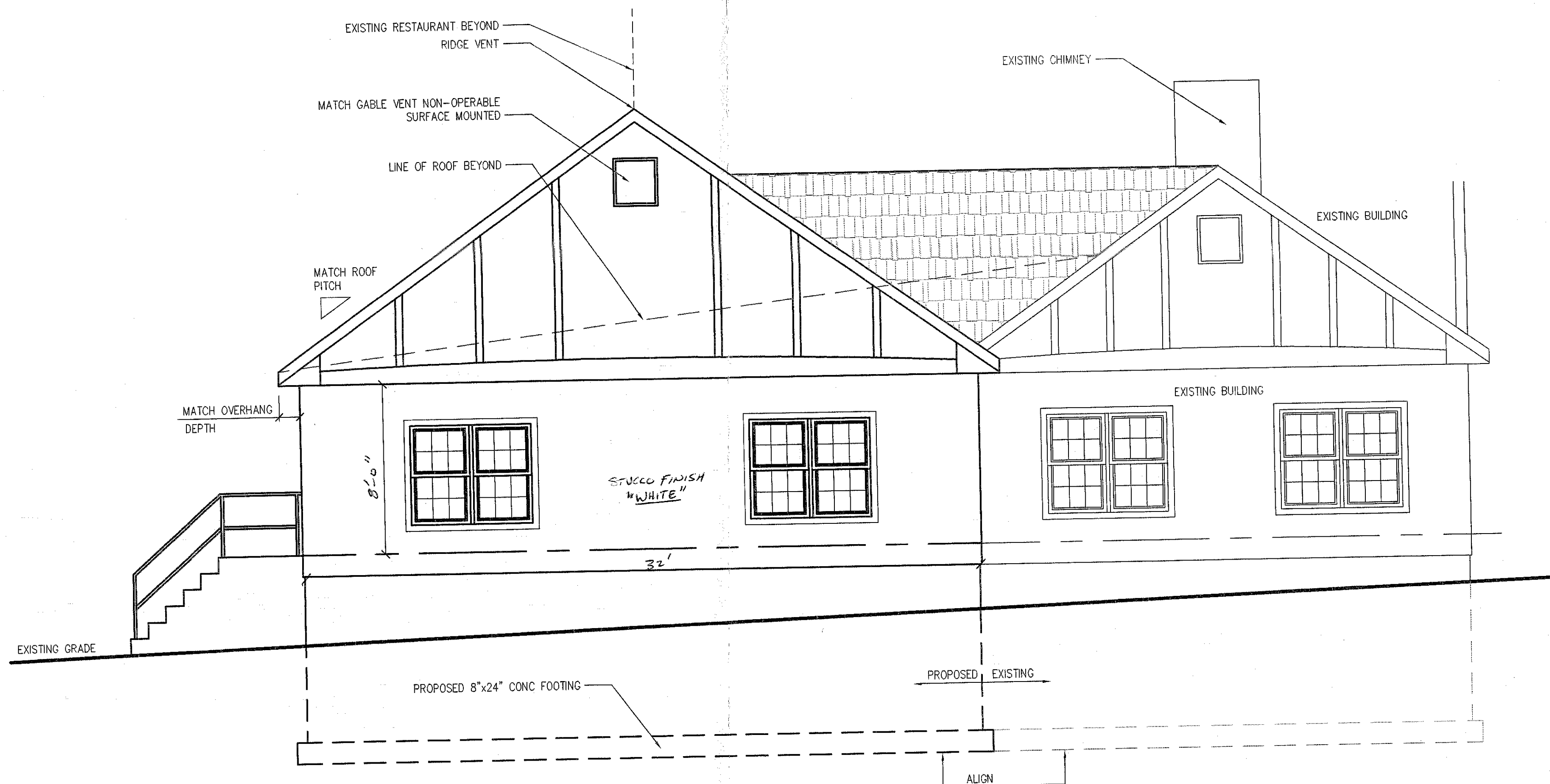
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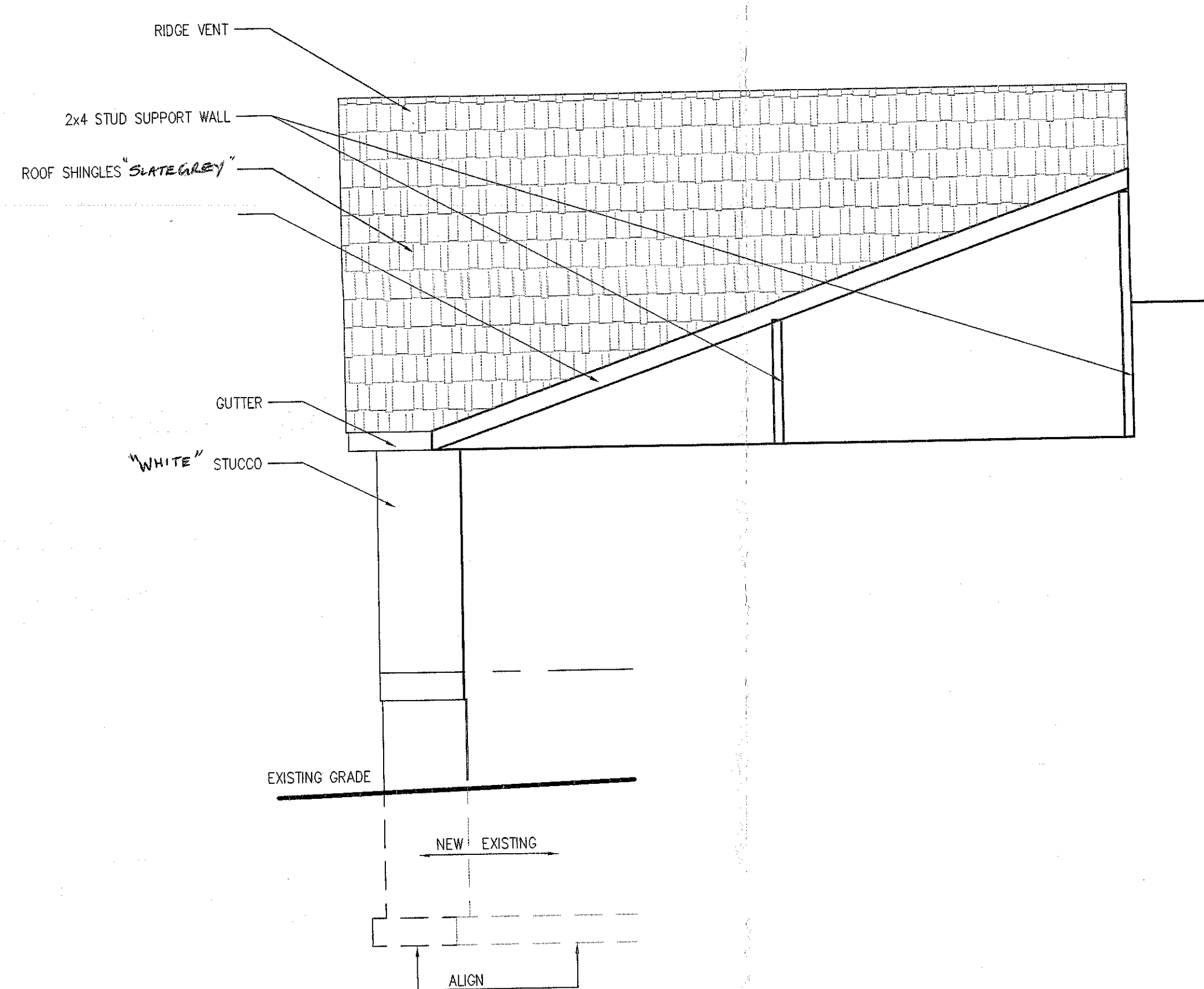
DESIGN ENGINEER
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NEW MILFORD, CT 06776
PHONE: (860) 350-2499 FAX: (860) 210-0004

FLOOR AND ROOF PLAN W/ NOTES
BRIARS RESTAURANT
512 NORTH STATE ROAD
BRIARCLIFF MANOR, NY 10510
TOWN OF OSSING
WESTCHESTER COUNTY
SECT: 1 P1: 8A BLK: 3 LOT: 1

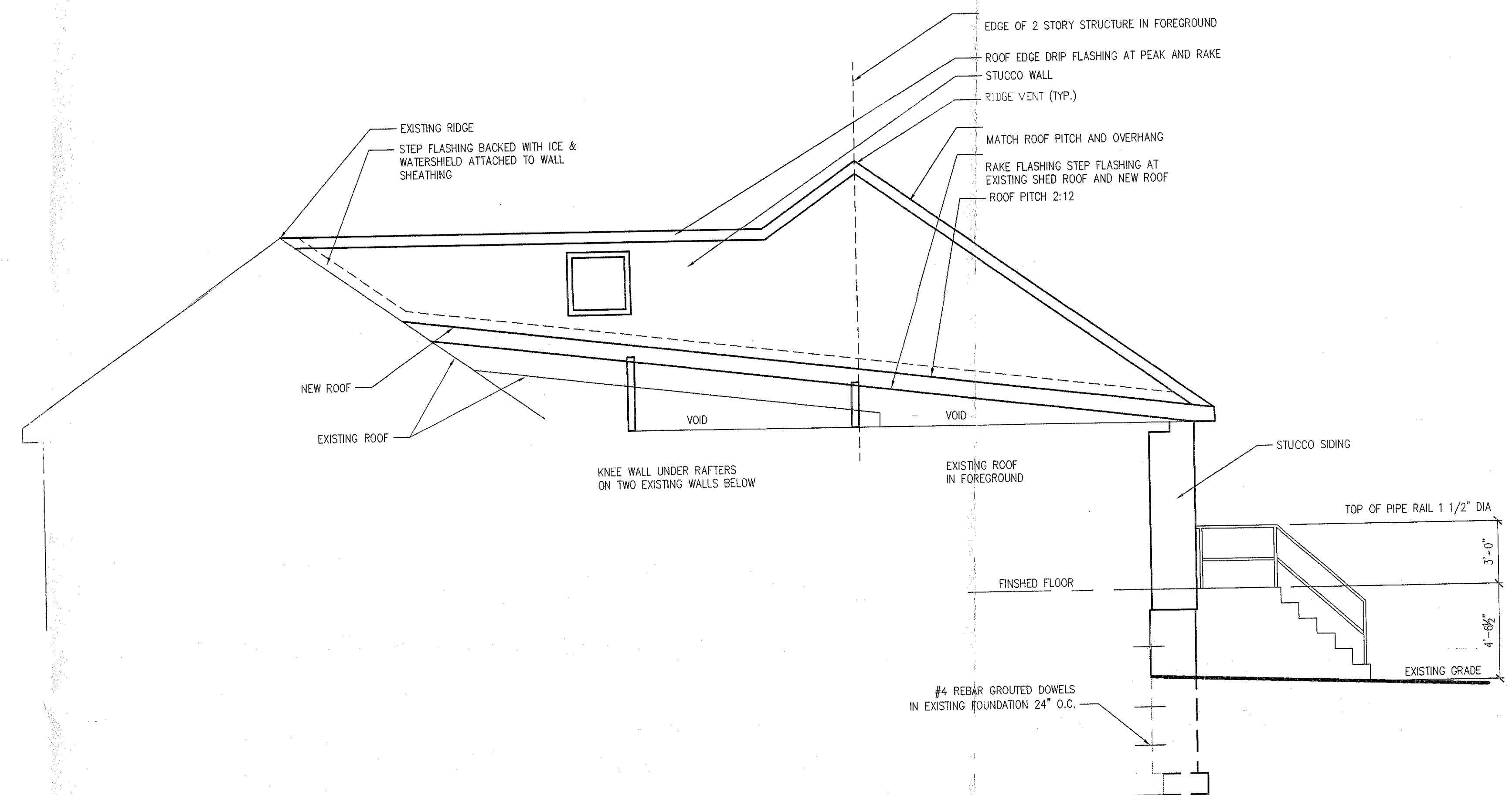
A-1



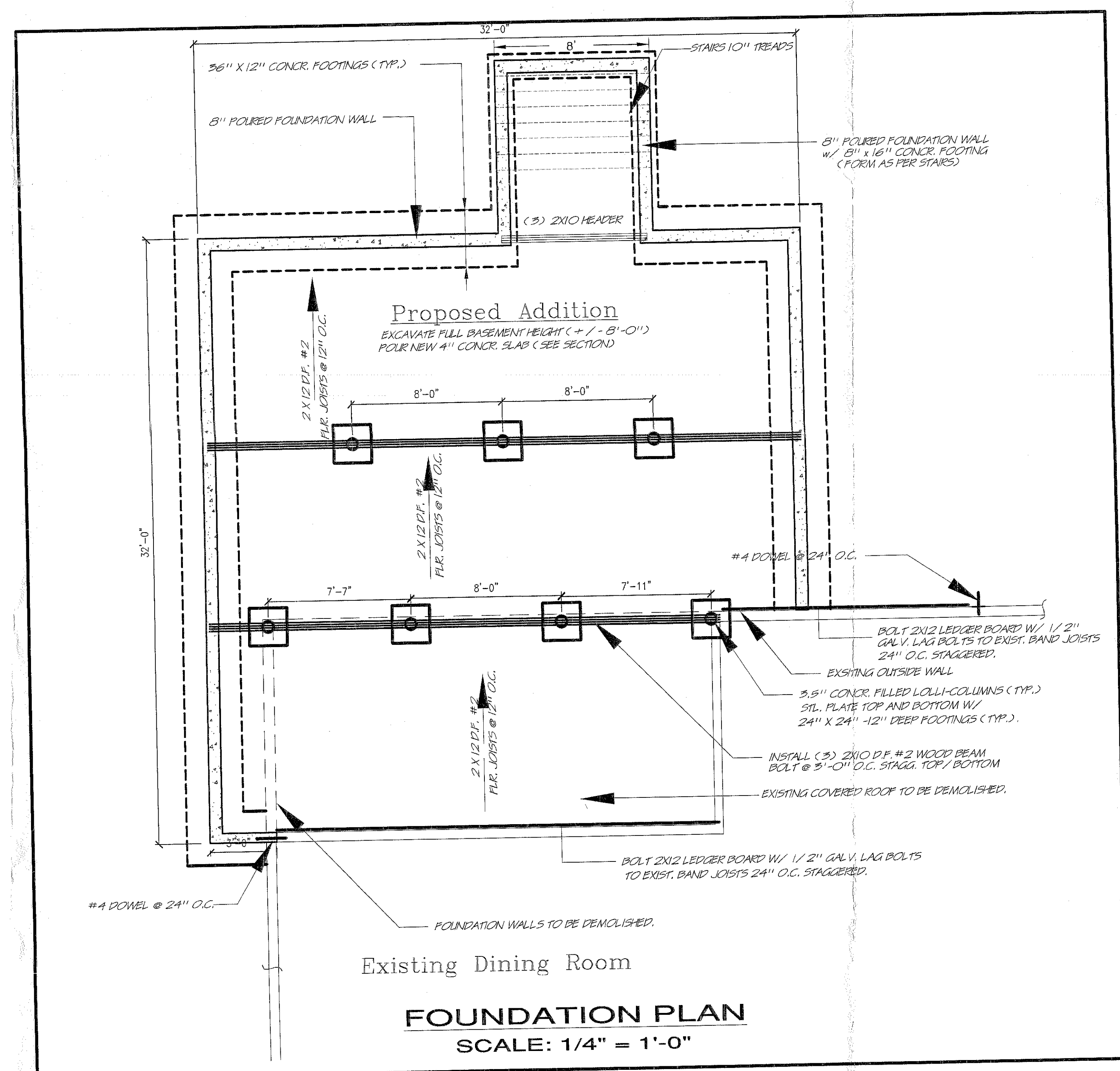
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION/FRAMING
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION/FRAMING
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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REV. 1:
REV. 2:
REV. 3:
REV. 4:

ADDITIONS AND ALTERATIONS
BRIARS RESTAURANT
512 NORTH STATE ROAD
BRIARCLIFF MANOR, NY 10510
TOWN OF OSSING
WESTCHESTER COUNTY
SECT: 1 PLOT: 8A BLK: 3 LOT: 1

A-2

A-3