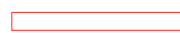
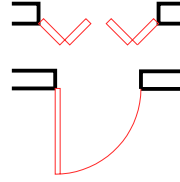
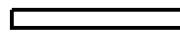




- | DEMOLITION LEGEND/NOTES | |
|---|---|
| SYMBOL | DESCRIPTION |
|  | 1. REMOVE EXISTING WALL CONSTRUCTION FROM STRUCTURAL SLAB TO UNDERSEAM OF FLOOR DECKING ABOVE. 2. REMOVE / RELOCATE EXISTING ELECTRICAL OUTLETS, SWITCHES ETC., AS REQUIRED, REWORK WIRING AS NECESSARY FOR CONTINUED POWER TO REMAINING OUTLETS, SWITCHES OR IF OUTLETS NOT REQUIRED, REMOVE WIRING BACK TO NEAREST JUNCTION BOX TO REMAIN. 3. REMOVE / RELOCATE EXISTING PLUMBING AS REQUIRED, REWORK PLUMBING AS NECESSARY TO MAINTAIN INTEGRITY OF EXISTING SYSTEM TO REMAIN. CAP ALL UNUSED PIPING IN WALL, FLOOR OR CEILINGS TO REMAIN. |
|  | REMOVE EXISTING DOOR, FRAME HARDWARE AND SADDLE. IN THEIR ENTIRETY. |
|  | EXISTING WALL TO REMAIN. |
| NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED. | |

DRAWING TITLE:
EXIST. & DEMO.
FLOOR PLAN

PROJECT:
TENANT FIT-OUT/ NEW
FOOD ESTABLISHMENT

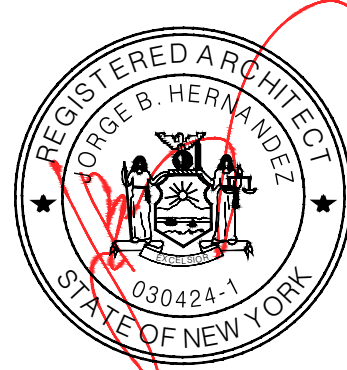
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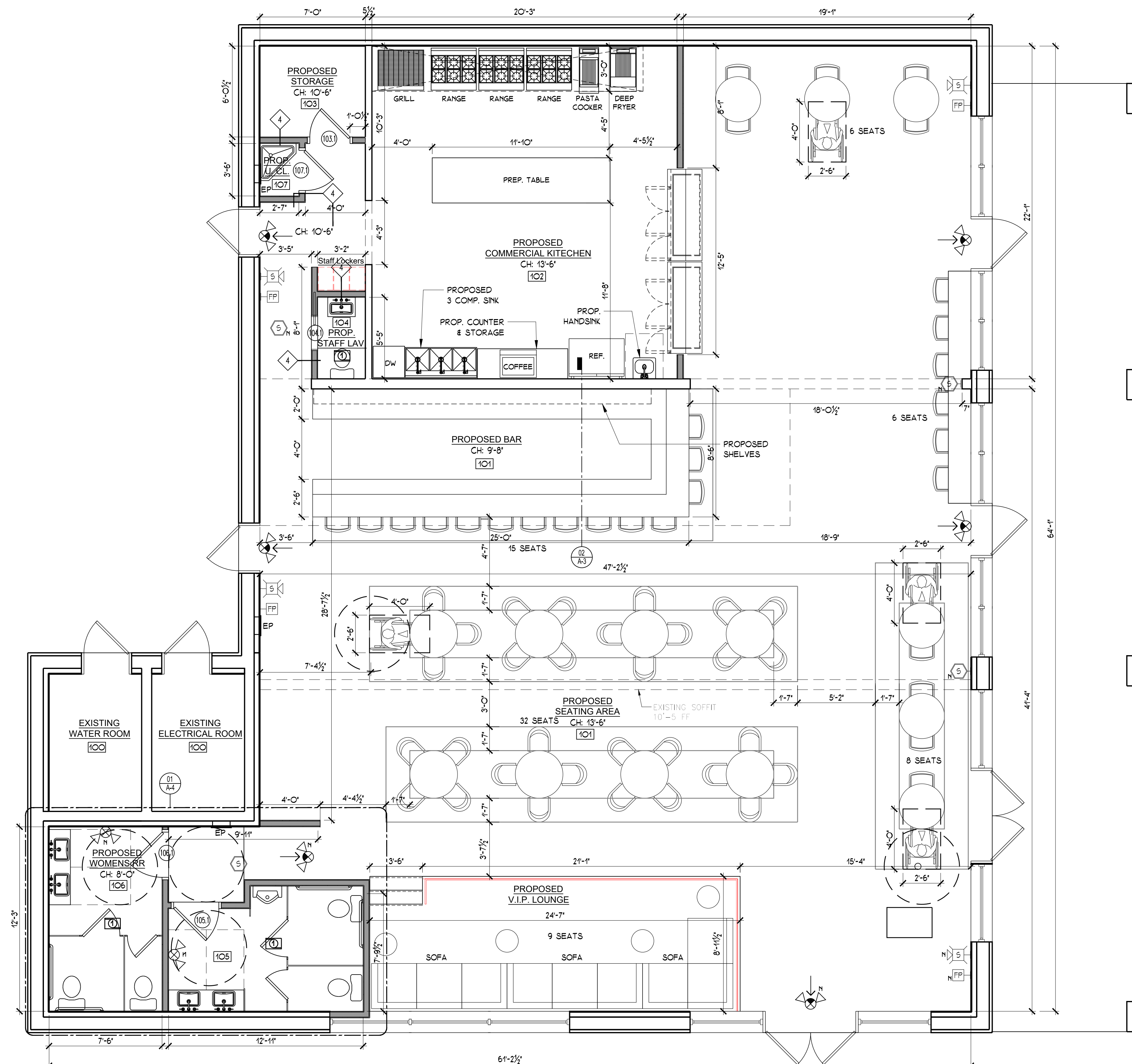
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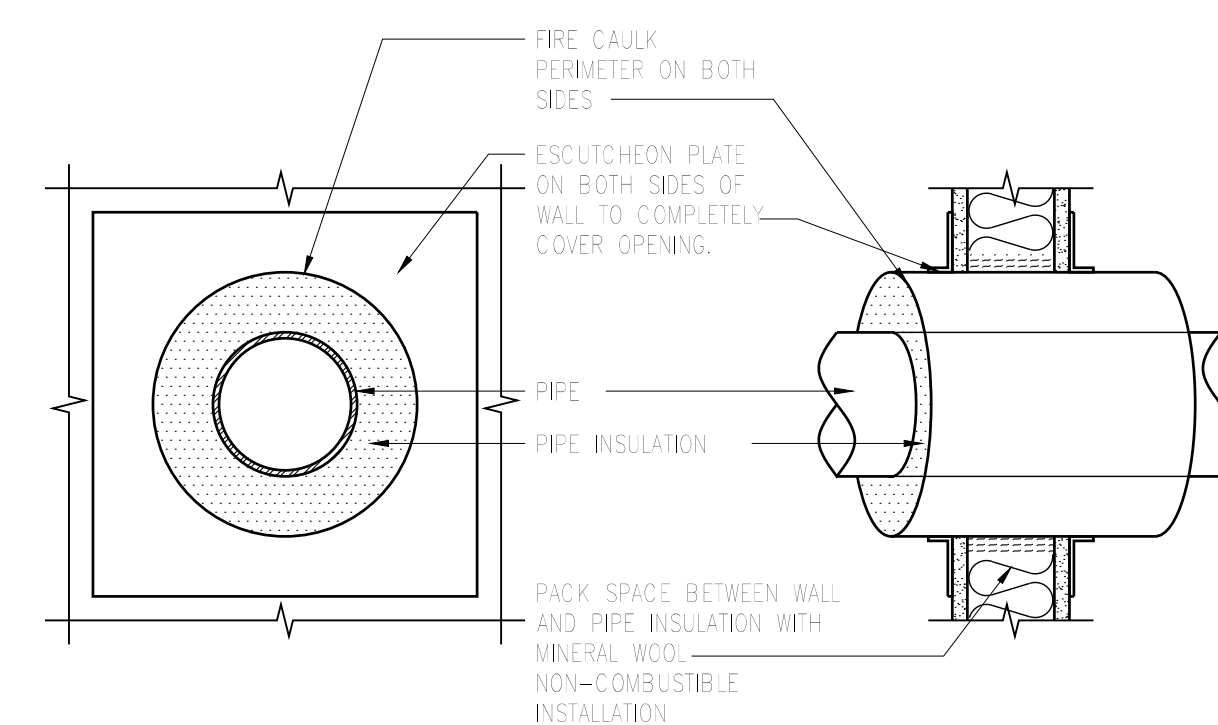
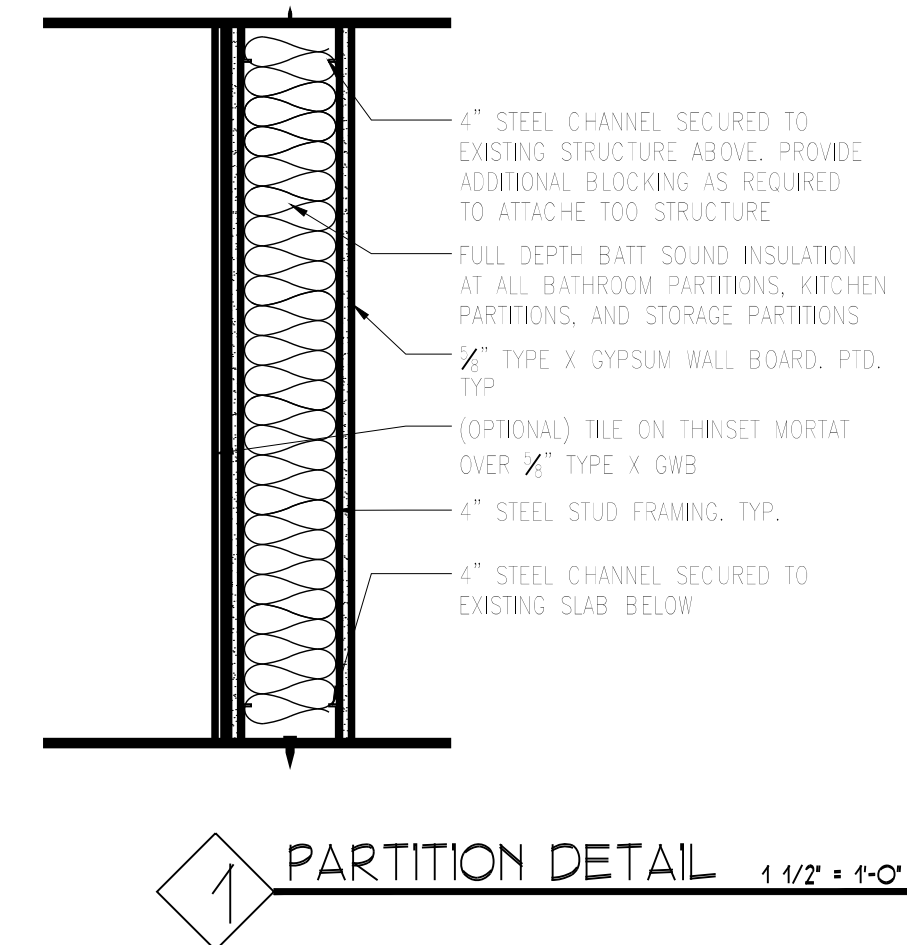
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CHECKED BY:	
JBH	



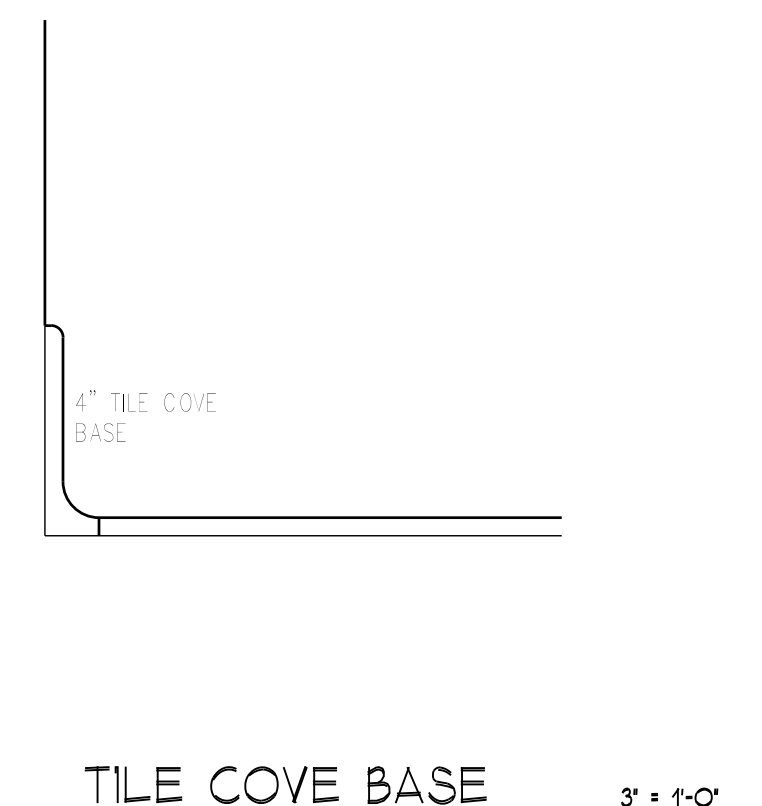
EXIST. & PROPOSED
FLOOR PLAN

$$1/4^{\circ} = 10^{\circ} - 0^{\circ}$$

1. ALL NEW WALLS TO BE 4" METAL STUD FRAMED WITH $\frac{5}{8}$ " TYPE X FIRECODE DRYWALL ON EITHER SIDE.
2. COMMERCIAL KITCHEN LAYOUT TO BE CONFIRMED AND FURTHER SPECIFIED BY FOOD SERVICES CONSULTANT. FOOD SERVICES CONSULTANT TO VERIFY VENTILATION REQUIREMENTS AND SIZING BASED UPON EQUIPMENT PROVIDED. FOOD SERVICES CONSULTANT TO SPECIFY SPECIFIC REQUIREMENTS FOR ELECTRICAL, PLUMBING, GAS, ETC AT COMMERCIAL KITCHEN.
3. BAR EQUIPMENT TO BE SPECIFIED & LOCATED BY FOOD SERVICES CONSULTANT. ALONG WITH ALL REQUIRED ELECTRICAL & PLUMBING PER EQUIPMENT.
4. MILLWORK DETAILING AT BAR AND OTHER INTERIOR TRIM/DETAIL ELEMENTS TO BE COORDINATED BY CONTRACTOR AND OWNER. ALL ELEMENTS TO MEET ALL APPLICABLE CODE REQUIREMENTS FOR FIRE-RESISTANCE, ACCESSIBILITY, SAFETY, AND ANY OTHER APPLICABLE CODES AND REGULATIONS.
5. RESTROOMS TO BE OUTFITTED WITH ACCESSIBLE CODE COMPLIANT TOILETS, GRAB BARS, DISPENSERS, PRIVACY COMPARTMENTS, AND SINKS AS OUTLINED IN THE ACCESSIBILITY DEMANDS ON SHEET T20.
6. VIP LOBBY TO BE AN ELEVATED PLATFORM 24" ABOVE FINISHED FLOOR. CONTRACTOR TO PROVIDE CODE COMPLIANT RISERS AND TREADS AT ACCESS STAIRWAY AND SAFETY RAIL AROUND ENTIRETY OF PLATFORM.
7. DROP CEILING ABOVE BAR TO BE DETAILED AND COORDINATED BY OWNER/CONTRACTOR.
8. COLD STORAGE REQUIREMENTS AND SPECIFICATIONS TO BE COORDINATED BY OWNER/CONTRACTOR AND ADHERE TO ALL STATE AND LOCAL REGULATIONS.
9. EXISTING HVAC SYSTEM TO REMAIN.
10. EXISTING LIGHTING AND ELECTRICAL TO REMAIN. PROVIDE ADDITIONAL OUTLETS AND LIGHTING AS REQUIRED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES INCLUDING EMERGENCY EGRESS LIGHTING AND SIGNAGE.
11. PROVIDE SERVICE SINK IN BACK OF HOUSE OR COMMERCIAL KITCHEN AS REQUIRED BY SECTION 2902.1 OF THE 2020 BUILDING CODE OF NYS. LOCATION TO BE COORDINATED IN FIELD.



TYPICAL PIPE
PENETRATION DETAIL



SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	<u>NEW INTERIOR WALL</u> NEW MTL. STUDS WALL, WITH 5/8" GYP. BD. SEE DETAIL FOR MORE INFO.
	<u>NEW DOOR</u> INDICATES DOOR SIZE
	<u>NEW WINDOW</u> INDICATES WINDOW SIZE

NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED. ALL WOOD IN CONTACT WITH CONCRETE TO BE P.T.
ALL PLUMBING WORK SHALL BE PERFORMED BY WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL
ALL PERMITS HAVE BEEN APPROVED

SYMBOL	DESCRIPTION
	NEW HARDWIRED INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTOR. <u>NOTE:</u> EXCEPTION (RC #R314.4) INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS ARE NOT REQ'D WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES. (#1403.2.1) SMOKE ALARMS ARE PERMITTED TO BE BATTERY OPERATED WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES. INDICATES NEW DEVICE

① BATHROOM EXHAUST FAN DUCTED TO EXTERIOR W/
CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM
CONTINUOUS

NOTE: ALL OUTLETS IN BATHROOMS, ABOVE COUNTERS
IN KITCHENS, & WITHIN 6'-0" OF A SINK SHALL BE
GFCI. VERIFY & REPLACE OUTLETS AS REQ'D.

\$ SWITCH: SINGLE POLE, 3 WAY, 4 WAY,
DIMMER AS INDICATED

Ⓢ DUPLEX RECEPTACLE

Ⓢ GFI DUPLEX RECEPTACLE WITH GROUND
FAULT CIRCUIT INTERRUPTER

6 SMOKE DETECTOR: 120V, BATTERY BACK

SMOKE DETECTOR: 120V, BATTERY BACK
UP, INTERCONNECTED W/. BATTERY BACKUP
INDICATES NEW DEVICE

HEAT DETECTOR
INDICATES NEW DEVICE

CEILING MOUNTED LIGHT FIXTURE
AS SELECTED BY OWNER

EXIST. WALL MOUNTED LIGHT FIXTURE

EXHAUST FAN WITH OPTIONAL LIGHT

 MINIMUM 20 CFM

 FIRE ALARM HORN/STROBE
INDICATES NEW DEVICE

FP FIRE ALARM PULL
N - INDICATES NEW DEVICE

 EXIT SIGN/EMERGENCY LIGHT

W/ DIRECTIONAL ARROW
INDICATES NEW DEVICE

EMERGENCY LIGHT
N ← INDICATES NEW DEVICE

NOTE: ALL ELECTRICAL INFORMATION SHOWN
IN THIS PLAN IS EXISTING U.O.N.



JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
EXIST & PROPOSED FLOOR
PLAN, DETAILS, LEGEND &
NOTES

PROJECT:
TENANT FIT-OUT/ NEW
FOOD ESTABLISHMENT

PROJECT ADDRESS:

549 N STATE ROAD
BRIARCLIFF MANOR, NY 10510

NYS EDUCATION LAW

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JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
EXIST. ELEVATIONS

PROJECT: TENANT FIT-OUT/ NEW FOOD ESTABLISHMENT

PROJECT ADDRESS:
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BRIARCLIFF MANOR, NY 10510

NY'S EDUCATION LAW

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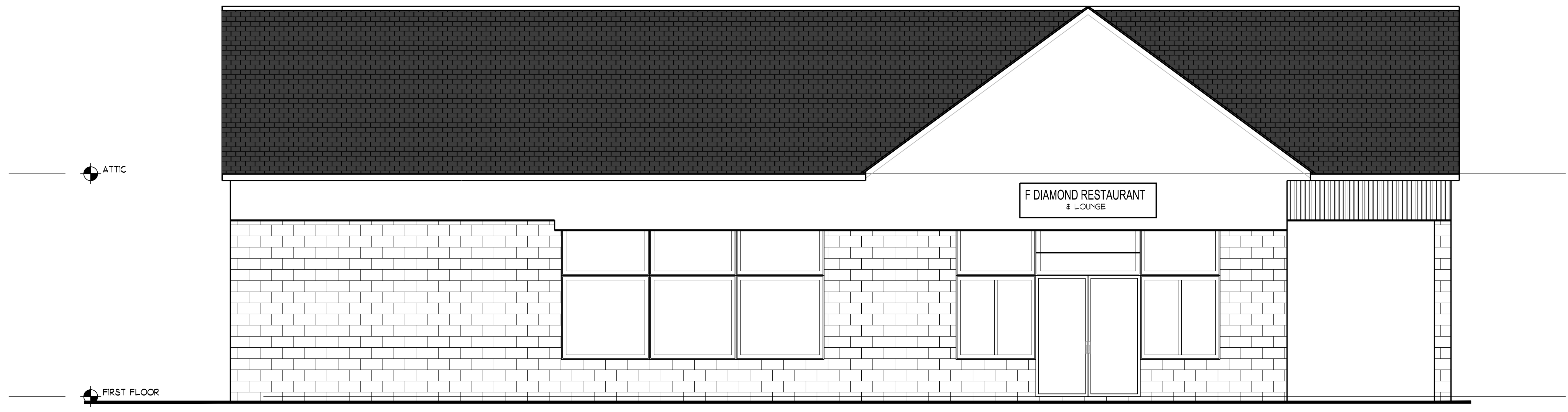
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SCHEMATIC EXIST.
FRONT ELEVATION

1/4" = 10'-0"

(NO CHANGE)



SCHEMATIC EXIST.
LEFT ELEVATION

1/4" = 10'-0"

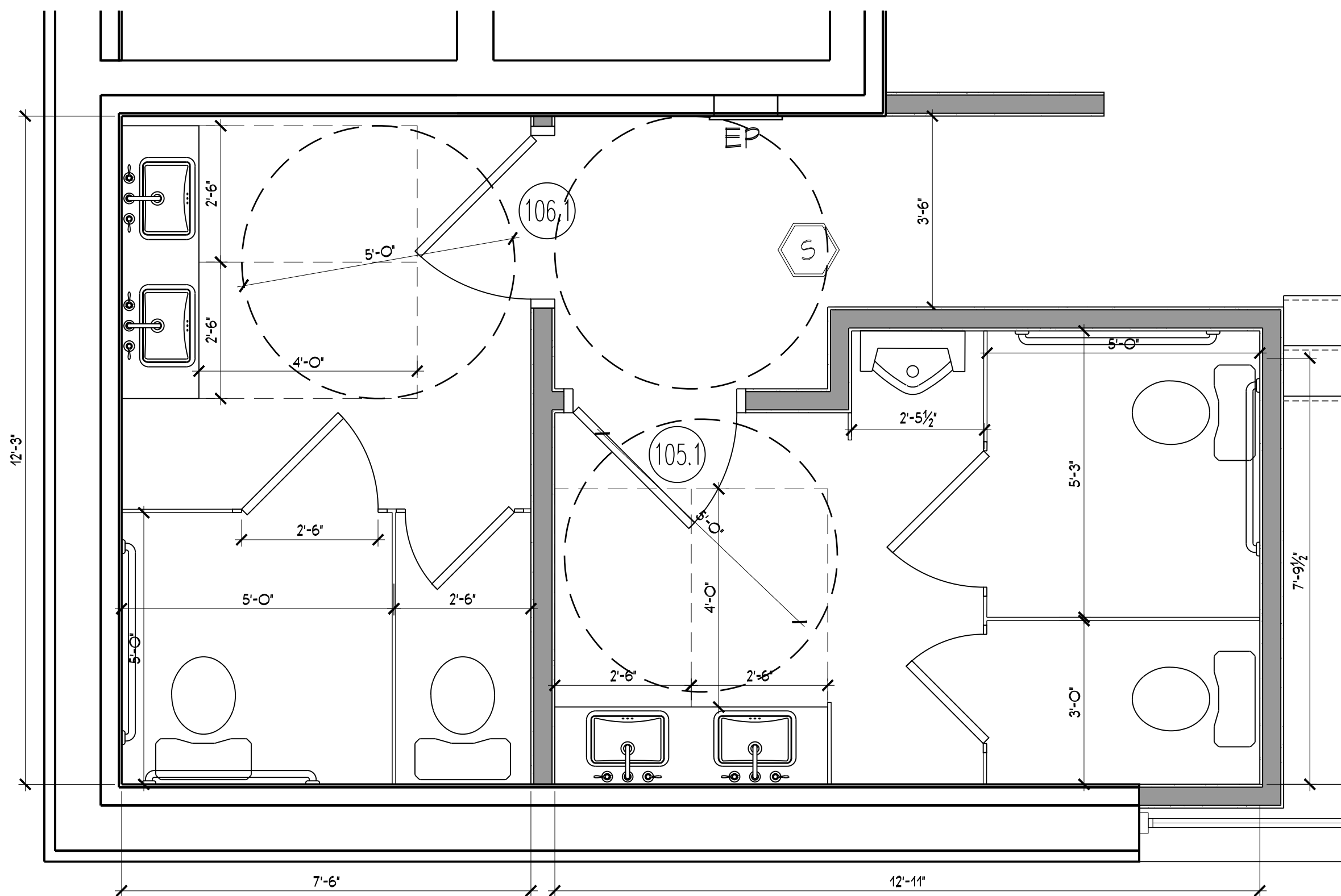
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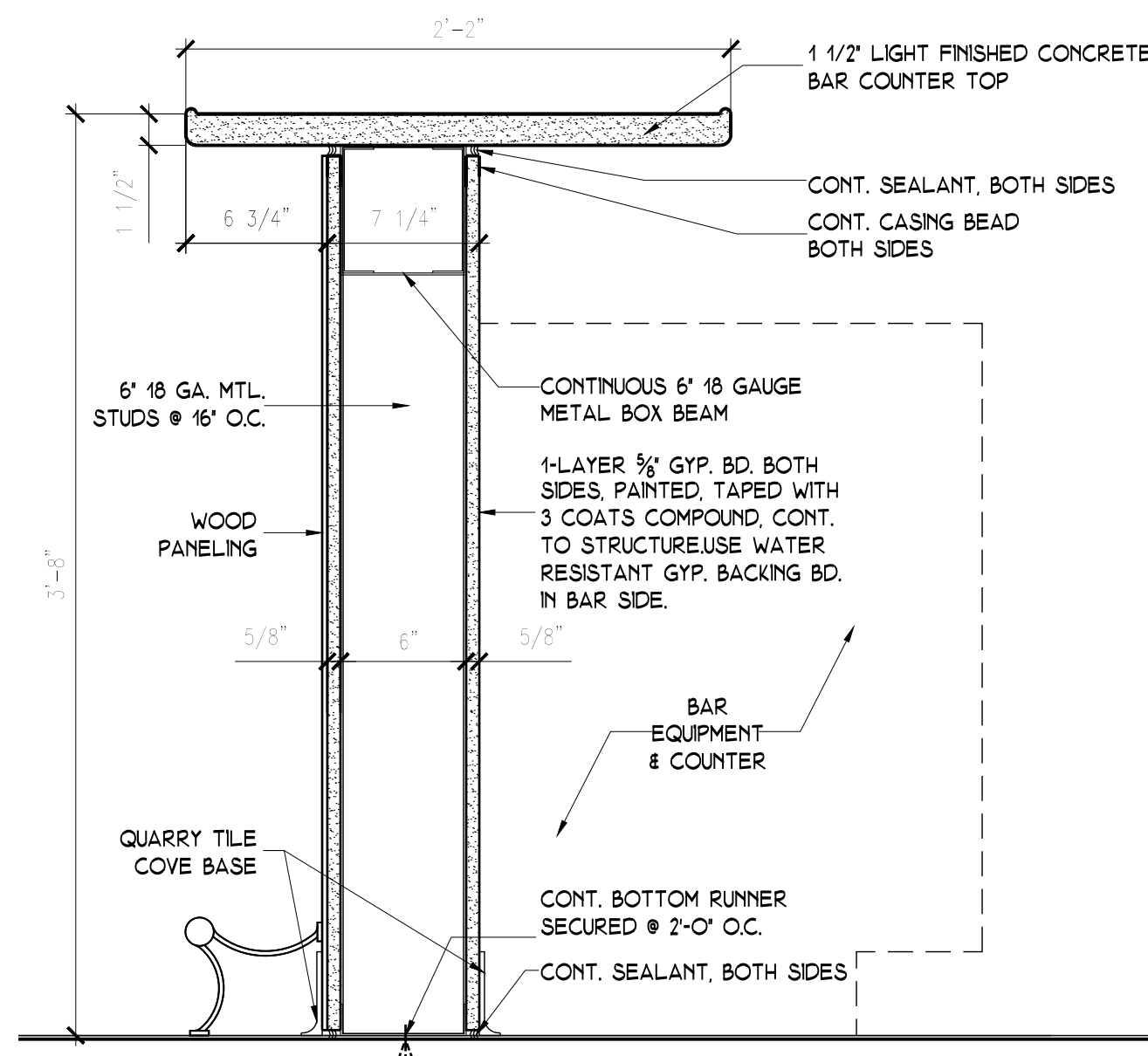
PROPOSED SIGN $1'-2' = 1'-0'$

DOOR NOTES:

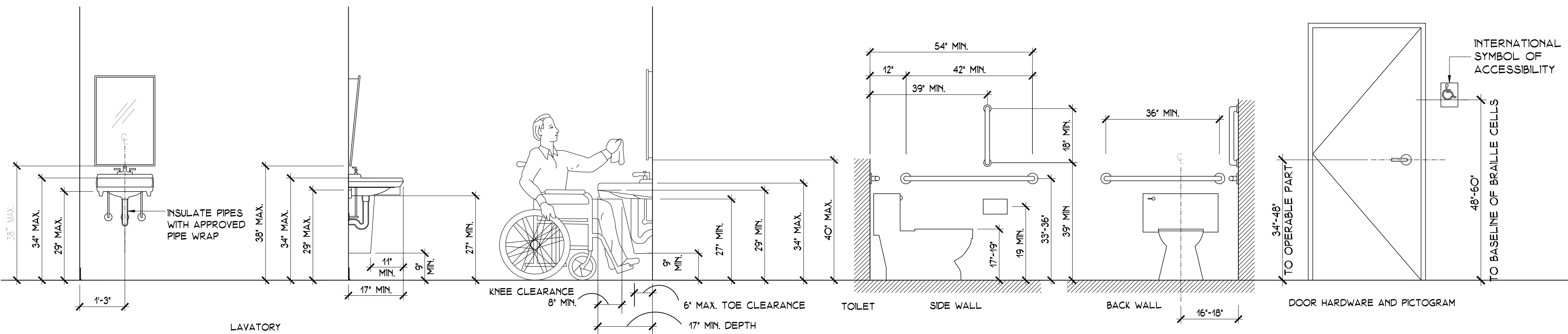
- ALL EXISTING EXTERIOR DOORS TO REMAIN
- SALVAGE AND PROTECT EXISTING INTERIOR DOORS FOR RE-USE AS POSSIBLE
- COLD STORAGE ROOM TO BE INSULATED METAL DOOR
- PROVIDE SOLID CORE WOOD INTERIOR DOORS. TYP. FINISH TO BE VENEER OR PTD.
- PROVIDE KICK-PLATE HOLLOW METAL INSULATED FRAME AT COLD STORAGE
- PROVIDE PRE-HUNG WOOD FRAMES AT INTERIOR DOORS. TYP. FINISH TO BE NATURAL OR PTD.
- PROVIDE COMMERCIAL DOOR LEVER HARDWARE BY SCHLAGE OR APPROVED EQUAL AT ALL EXTERIOR DOORS
- PROVIDE KICK-PLATES AT INTERIOR OF ALL BATHROOM DOORS AND ON EITHER SIDE OF UTILITY CLOSET DOOR
- PROVIDE CLOSERS ON ALL INTERIOR DOORS.



01 ENLARGED BATHROOM PLAN 1/2" = 1'-0"



SECTION / BAR 1 1/2" = 1'-0"



ADA STANDARD	N.T.S.
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JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
DOOR SCHEDULE, JAMB
DETAIL, ENLARGED
BATHROOM PLAN, BAR
DETAIL & ADA STANDARD

PROJECT:
TENANT FIT-OUT/ NEW
FOOD ESTABLISHMENT

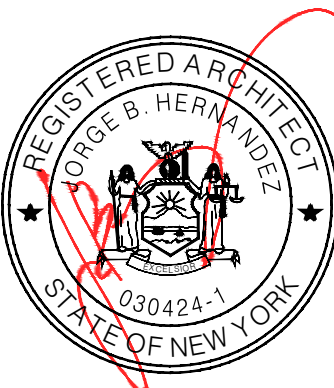
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