

TENANT FIT-OUT / NEW FOOD ESTABLISHMENT

549 N STATE RESTAURANT

549 N STATE ROAD,
BRIARCLIFF MANOR, NEW YORK 10510



100 EXECUTIVE BLVD. SUITE 204
OSSING, NY 10682
PHONE: (914) 944-3377
FAX: (866) 567-8240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

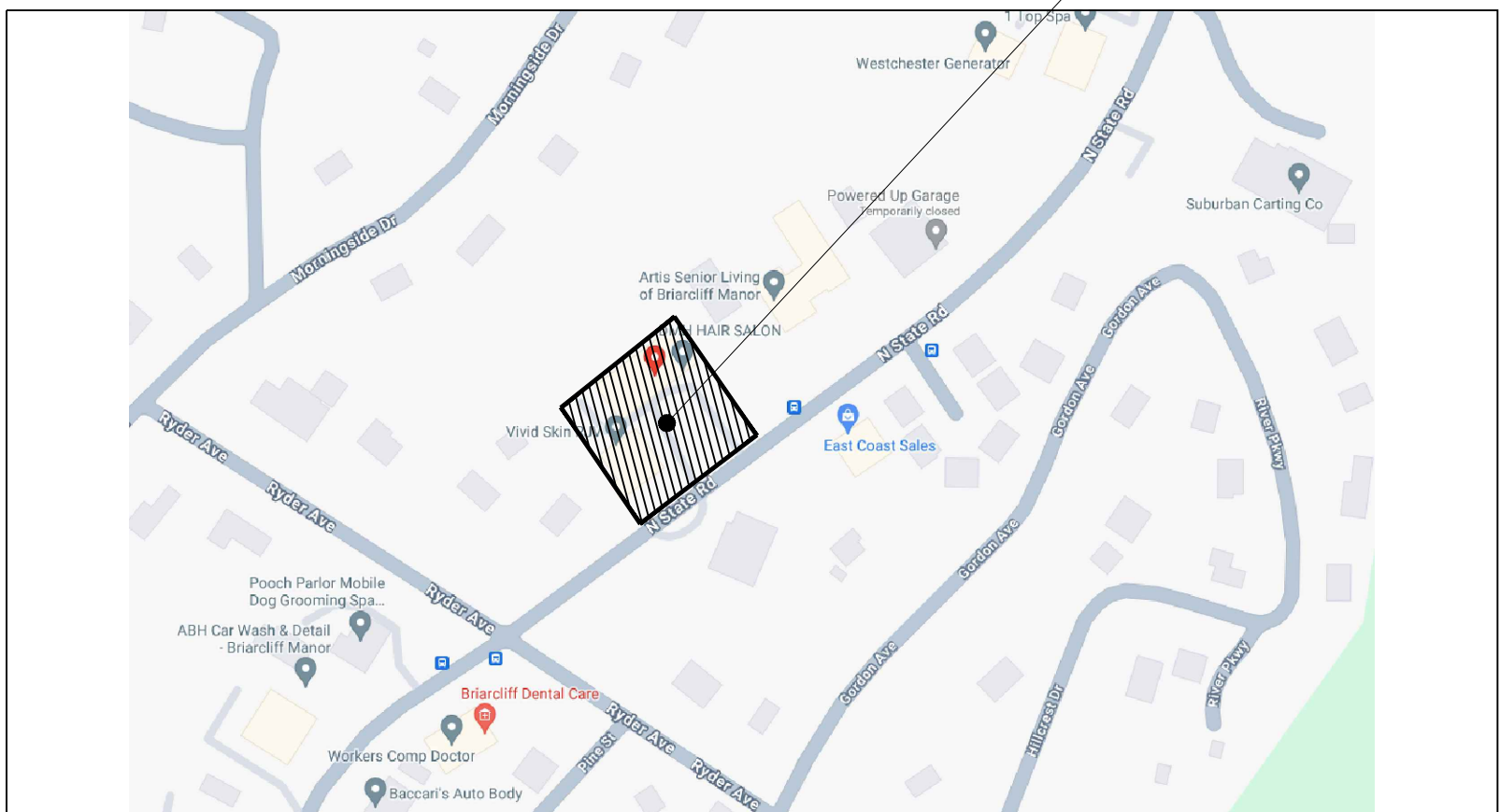
LOCATION MAP

SITE LOCATION



LOCATION MAP

SITE LOCATION



ESTABLISHMENT

ADDRESS: ---
PROPERTY OWNER: ---
S.B.L.: ---
PROPOSED ESTABLISHMENT NAME: ---
ESTABLISHMENT OWNER: ---
HOUR OF OPERATION: 8:00 AM TO 5:00 PM

DRAWING LIST

NO.	DWG.	TITLE
1.	T-1	TITLE SHEET
2.	T-2	OCCUPANCY CALCULATION & MEANS EGRESS PLANS
3.	S-1	SITE PLAN
4.	A-1	EXISTING & DEMOLITION FLOOR PLAN
5.	A-2	PROPOSED CONSTRUCTION FLOOR PLAN, LEGEND & NOTES

BUILDING CODE NOTES

CODE PATH:

- 2020 BUILDING CODE OF NEW YORK STATE
- 2020 EXISTING BUILDING CODE OF NEW YORK STATE
- 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE
- 2010 ADA STANDARDS

GENERAL NOTES & SPECIFICATION

GENERAL DATA:

- THE ARCHITECT IS NOT CONTRACTED FOR SUPERVISION AND SO IS NOT RESPONSIBLE FOR METHODS OF CONSTRUCTION OR MATERIALS USED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL MATERIALS SHALL BE NEW AND OF THE BEST QUALITY.
- CONTRACTOR, BY SUBMITTING A BID, REPRESENTS THAT HE HAS VISITED THE PROJECT LOCATION AND AGREES WITH PLANS AND DETAILS AS REPRESENTING THE FULL EXTENT OF CONSTRUCTION. IF CONTRACTOR HAS FOUND THAT PLANS AND DETAILS ARE DIFFERENT WITH WHAT IS PHYSICALLY IN THE FIELD, CONTRACTOR SHALL NOTIFY THE ARCHITECT OR OWNER BEFORE SUBMITTING HIS BID.
- CONTRACTOR SHALL OBTAIN ALL PERMITS, CERTIFICATES, INSPECTIONS, ETC. REQUIRED BY LAW OR CODE. OWNER SHALL PAY FOR SAME.
- ALL WORK IS TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES. IN THE ABSENCE OF OTHER STANDARDS, THE 2010 NEW YORK STATE BUILDING, UNIFORM FIRE PREVENTION AND ENERGY CONSERVATION CODES SHALL GOVERN.
- INSURANCE: PRIOR TO STARTING WORK, CONTRACTOR SHALL MAINTAIN WORKMAN'S COMPENSATION AND LIABILITY INSURANCE FOR BODILY INJURY, PROPERTY DAMAGE, AUTOMOTIVE AND OTHER INSURANCES REQUIRED BY LAW OR BY OWNER IN ADEQUATE AMOUNTS AND TERMS SATISFACTORY TO THE OWNER, TO RENDER THE OWNER HARMLESS IN CASE OF AN ACCIDENT TO PERSON OR PROPERTY INVOLVED IN THIS PROJECT. MAINTAIN SUCH INSURANCE IN FULL FORCE DURING ENTIRE TIME OF CONTRACT.
- CONTRACTOR SHALL PERFORM ALL WORK REQUIRED FOR THE TOTAL COMPLETION OF THE PROJECT, WEATHER OR NOT INDICATED ON THE DRAWINGS. THE INTENT OF THE DRAWINGS IS TO PRODUCE A COMPLETE AND PROPER FUNCTIONING PROJECT.
- ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME, AND SIMILAR CONDITIONS, UNLESS OTHERWISE SPECIFICALLY NOTED.
- CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
- ANY REQUIRED SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- USE OF PREMISES - CONTRACTOR SHALL STORE MATERIALS, DISPOSE OF DEBRIS, COORDINATE AND SCHEDULE ALL WORK IN COOPERATION WITH OWNER FOR MINIMUM DISRUPTION. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES. ALL WORK SHALL BE DONE DURING NORMAL WORKING HOURS.
- NO RESPONSIBILITY IS ASSUMED BY ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND RELIED UPON BY ARCHITECT TO BE ACCURATE.
- SUPERVISION - ARCHITECT HAS NOT BEEN RETAINED BY THE OWNER TO PROVIDE OBSERVATION AND SUPERVISION OF CONSTRUCTION OPERATIONS AND CERTIFICATION OF PAYMENTS.
- SUBSTITUTIONS OF MATERIAL AND/OR METHODS OF CONSTRUCTION SHALL BE APPROVED BY ARCHITECT AND OWNER PRIOR TO SIGNING CONSTRUCTION CONTRACT.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR.
- CONSTRUCTION NOT TO COMMENCE PENDING APPROVAL OF PLANS.
- GENERAL NOTES TO BE STRICTLY ADHERED TO UNLESS OTHERWISE NOTED ON DRAWINGS.

DEMOLITION NOTES:

- PRIOR TO DEMOLITION DISCONNECT AND CAP ALL EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES.
- ALL ELECTRICAL DISCONNECTS AND REMOVALS MUST BE DONE BY A ELECTRICAL CONTRACTOR LICENSED IN WESTCHESTER COUNTY.
- ALL PLUMBING DISCONNECTS AND REMOVALS MUST BE DONE BY A PLUMBING CONTRACTOR LICENSED IN WESTCHESTER COUNTY.
- REMOVE ALL DEBRIS FROM SITE TO A LEGAL DISPOSAL FACILITY. CONTRACTOR SHALL PAY FOR ALL NECESSARY DUMPSTERS AND CARTING FEE'S.

METAL FRAMING:

- STEEL STUDS: C-SHAPE, WITH FLANGE WIDTH OF NOT LESS THAN $1\frac{1}{8}$ INCHES, MINIMUM UNCOATED STEEL THICKNESS OF 0.0329 INCH.
- STEEL TRACK: U-SHAPED, MINUM UNCOATED METAL THICKNESS SAME AS STUDS USED WITH TRACK WITH FLANGE WIDTHS OF $1\frac{1}{8}$ INCHES FOR STUDS.
- ALL FRAMING AND ACCESSORIES TO BE PLUMB, LEVEL, SQUARE AND TRUE TO LINE, AND SECURELY FASTENED, ACCORDING TO ASTM C 1007. TEMPORARILY BRACE FRAMING UNTIL ENTIRE INTEGRATED SUPPORTING STRUCTURE HAS BEEN COMPLETED AND PERMANENT CONNECTIONS ARE SECURED.
- CUT FRAMING MEMBERS BY SAWING OR SHEARING. DO NOT TORCH CUT.
- FASTEN FRAMING MEMBERS BY WELDING OR SCREW FASTENING.
- FASTEN REINFORCEMENT PLATES OVER WEB PENETRATIONS LARGER THAN STANDARD PUNCHED OPENINGS.

- ERECTION TOLERANCES: INSTALL METAL FRAMING WITH A MAXIMUM VARIATION OF $\frac{1}{8}$ " IN 10 FEET AND WITH INDIVIDUAL FRAMING MEMBERS NO MORE THAN PLUS OR MINUS $\frac{1}{8}$ " FROM PLAN LOCATION. CUMULATIVE ERROR SHALL NOT EXCEED MINIMUM FASTENING REQUIREMENTS OF SHEATHING OR OTHER FINISHING MATERIALS.
- STUDS: INSTALL CONTINUOUS TOP AND BOTTOM TRACKS SECURELY ANCHORED AT CORNERS AND ENDS. SQUARELY SEAT STUDS AGAINST WEBS OF TOP AND BOTTOM TRACKS. SPACE STUDS AS INDICATED, SET PLUMB, ALIGN, AND FASTEN BOTH FLANGES OF STUDS TO TOP AND BOTTOM TRACKS.

- INSTALL AND FASTEN HORIZONTAL BRIDGING IN STUD SYSTEM, SPACED IN ROWS NOT MORE THAN 48 INCHES APART.
- INSTALL MISCELLANEOUS FRAMING AND CONNECTIONS TO PROVIDE A COMPLETE AND STABLE WALL-FRAMING SYSTEM.

SOUND ATTENUATION BATTS:

- ALL BATHROOM WALLS SHALL RECEIVE SOUND ATTENUATION BATTS.
- TYPE: UNFACED GLASS FIBER ACOUSTICAL INSULATION COMPLYING WITH ASTM C 665, TYPE 1
- SIZE: AS INDICATED ON PLANS
- INSTALLATION: COMPLY WITH MANUFACTURERS INSTRUCTIONS FOR PARTICULAR CONDITIONS.
 - BATTS MAY BE FRICTION-FIT IN PLACE UNTIL THE INTERIOR FINISH IS APPLIED. INSTALL BATTS TO FILL ENTIRE STUD CAVITY. IF STUD CAVITY IS LESS THAN 96" IN HEIGHT, CUT LENGTHS TO FRICTION FIT AGAINST FLOOR AND CEILING TRACKS. WALLS WITH PENETRATIONS REQUIRE THAT INSULATION BE CAREFULLY CUT TO FIT AROUND OUTLETS, JUNCTION BOXES AND OTHER IRREGULARITIES.
 - WHERE WALLS ARE NOT FINISHED IN BOTH SIDES OR INSULATION DOES NOT FILL THE CAVITY DEPTH, SUPPLEMENTARY SUPPORT MUST BE PROVIDED TO HOLD PRODUCT IN PLACE.
 - PROTECT INSTALLED INSULATION AS RECOMMENDED BY MANUFACTURER.

AUTOMATIC FIRE SPRINKLER SYSTEM:

- EXISTING AUTOMATIC SPRINKLER SYSTEM SHALL BE MODIFIED AS REQUIRED TO SUIT PROPOSED WORK AND SUBMITTED UNDER A SEPARATE PERMIT APPLICATION

KITCHEN HOOD:

- NEW HOOD AND MODIFICATIONS TO EXISTING KITCHEN HOOD SHALL FILED UNDER A SEPARATE PERMIT.

ELECTRICAL:

- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED ELECTRICAL CONTRACTOR UNDER A SEPARATE PERMIT.
- ALL WORK SHALL CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR PROCUREMENT OF ALL INSPECTION CERTIFICATES.
- ELECTRICAL PLANS REFLECT MINIMUM ELECTRICAL AND LIGHTING REQUIREMENTS. CLIENT SHALL FIELD LOCATE ALL FIXTURES AND ELECTRICAL REQUIREMENTS AS DESIRED.
- ALL TELEPHONE LINES SHALL BE CAT-5 WIRE UNLESS OTHERWISE NOTED.
- ALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED.
- TOILETS TO BE MECHANICALLY VENTED.
- ALL ELECTRICAL IS EXISTING UNLESS INDICATED OTHERWISE.

PLUMBING:

- ALL PLUMBING WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED PLUMBER.
- ALL WORK SHALL CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- PPING AS PER LOCAL CODE. INSULATE HOT AND COLD WATER SUPPLIES.
- NO WATER PIPES, SOIL OR WASTE LINES SHALL BE EXPOSED IN UNINSULATED AND UNHEATED SPACES IN BASEMENT. WATER SERVICE SHALL BE PROTECTED FROM FREEZING WHERE EXPOSED IN UNHEATED SPACES.

SPECIFICATION CONT.

INTERIOR FINISHES:

- GYPSUM WALLBOARD: ALL AREAS TO RECEIVE 5/8" GYPSUM WALLBOARD THROUGHOUT, UNLESS NOTED OTHERWISE. USE 5/8" GREEN BOARD IN BATHROOMS AND 1/2" CEMENT BOARD IN ANY WALLS DESIGNATED TO RECEIVE TILE.
 - GYPSUM WALLBOARD: ASTM C36, GREEN BOARD TO BE GLASS-MAT, WATER RESISTANT BACKING BOARD: ASTM C 1178/C 1178M, CEMENTITIOUS BACKER UNITS: ANSI A108.9
 - APPLY GYPSUM PANELS HORIZONTALLY (PERPENDICULAR TO FRAMING), UNLESS OTHERWISE INDICATED, AND MINIMIZE END JOINTS. STAGGER ABUTTING END JOINTS NOT LESS THAN ONE FRAMING MEMBER IN ALTERNATE COURSES OF BOARD.
 - USE STEEL DRILL SCREWS ASTM C 1002, UNLESS OTHERWISE INDICATED, USE SCREWS COMPLYING WITH ASTM C 954 FOR FASTENING PANELS TO STEEL MEMBERS. USE SCREWS AND SIZE RECOMMENDED BY PANEL MANUFACTURER FOR FASTENING CEMENTITIOUS BACKER BOARDS.
 - TREAT GYPSUM BOARD JOINTS, INTERIOR ANGLES, EDGE TRIM, CONTROL JOINTS, PENETRATIONS, FASTENER HEADS, SURFACE DEFECTS, AND ELSEWHERE TO PREPARE GYPSUM BOARD SURFACES TO RECEIVE NEW FINISHES.
 - GYP. BOARD TO RECEIVE MIN. TWO COATS TAPING COMPOUND, SANDED SMOOTH TO RECEIVE PAINT OR WALL COVERING.

2. PAINTING

- PAINT PRODUCTS SHALL BE BY BENJAMIN MOORE & CO. OR APPROVED EQUAL, COLORS AS SELECTED BY OWNER.
- BEFORE PAINTING REMOVE HARDWARE, LIGHTING FIXTURES AND SIMILAR ITEMS THAT ARE NOT TO BE PAINTED. MASK ITEMS THAT CANNOT BE REMOVED. REINSTALL ITEMS IN EACH AREA AFTER PAINT IS COMPLETE.
- CLEAN AND PREPARE ALL SURFACES IN AN AREA BEFORE BEGINNING PAINTING IN THAT AREA. SCHEDULE PAINTING SO CLEANING OPERATIONS WILL NOT DAMAGE NEWLY PAINTED SURFACES.
- APPLY COATINGS BY BRUSH, ROLLER, SPRAY OR OTHER APPLICATORS ACCORDING TO COATING MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PIGMENTED (OPAQUE) FINISHES: COMPLETELY COVER SURFACES TO PROVIDE A SMOOTH, OPAQUE SURFACE OF UNIFORM APPEARANCE. PROVIDE FINISH FREE OF CLOUDINESS, SPOTTING, LAPS, BRUSH MARKS, RUNS, SAGS, OR OTHER SURFACE IMPERFECTIONS.
- TRANSPARENT (CLEAR) FINISHES: USE MULTIPLE COATS TO PRODUCE A GLASS-SMOOTH SURFACE FILM OF EVEN LUSTER, PROVIDE A FINISH FREE OF ANY SURFACE IMPERFECTIONS.
- WALLS TO RECEIVE ONE COAT PRIMER AND TWO COATS FINISH PAINT MIN. ENSURE PROPER COVERAGE.

INTERIOR FINISHES CONT.:

- OTHER FINISH ITEMS:
 - ALL TRIM SHALL MATCH EXISTING BATHROOM ACCESSORIES (TOWEL DISPENSERS, MIRRORS ETC.) TO BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
 - FINISH FLOORING TO BE SELECTED BY OWNER, INSTALLED BY CONTRACTOR, DURING CONSTRUCTION PROVIDE CONTINUOUS PROTECTION TO EXISTING FLOOR FINISHES TO REMAIN. INCLUDE THESE AREAS AT FINAL CLEANING.
- CERAMIC TILE FLOORS TO BE INSTALLED OVER 1/2" MORTAR OVER SLAB WALL. BASE TO MATCH EXISTING.
- CAULK: SILICON SEALANT WITH COLOR TO MATCH ADJACENT SURFACES. FIRE CAULK OPENING AND PENETRATIONS THRU FIRE RATED ASSEMBLY.

ENERGY CONSERVATION CODE OF N.Y.S.:

BUILDING TYPE: COMMERCIAL
CLIMATE ZONE: (PER TABLE C301.1) 4A (WESTCHESTER COUNTY)

GENERAL INFORMATION

CONSTRUCTION TYPE: 1A
OCCUPANCY GROUP: A2
STORIES (EXISTING): 1
AREA (EXISTING): 3700 SF

OCCUPANCY CALCULATION:

KITCHEN: 849 (GROSS)/200 = 5
STORAGE: 84 (GROSS)/300 = 1
DINING: 1833 (NET)/15 = 123
TOTAL: 129 PERMITTED

PROPOSED ALTERATION TO OCCUPANCY CALCULATION BASED ON DINING SEATS PROVIDED:

DINING REDUCED TO OCCUPANCY OF 92 BASED ON 78 SEATS PROVIDED + ADDITIONAL BAR PATRONS.

REVISED TOTAL OCCUPANCY: 98
REVISED TOTAL OCCUPANCY TO BE POSTED BY THE FIRE MARSHALL LIMITING OCCUPANCY OF THE SPACE.

EGRESS DISTANCE SEPARATION:

OVERALL DIAGONAL: 88'-7 1/2"
MIN. SEPARATION REQUIRED: 88'-7 1/2" / 2 = 44'-3 3/4"
MIN. SEPARATION PROVIDED: 46'-7"

LOSS OF EGRESS CALCULATION:

(2020 BC NYS TABLE 1006.2.1)
ONE LOSS OF EGRESS + 61 ADDITIONAL OCCUPANTS
REMAINING EGRESS = 3 DOORS
LOAD INCREASE AT EACH DOOR OF 21 OCCUPANTS
HIGHEST OCCUPANCY DOOR = 56 OCCUPANTS WITH CAPACITY OF 180

DOOR CAPACITY (2020 IN. PER OCCUPANT):
(1) 72" DOOR FRONT : 72x0.20+ 360 PEOPLE
(2) 36" DOOR LEFT : 36x0.20+ 180 PEOPLE
(3) 36" DOOR RIGHT : 36x0.20+ 180 PEOPLE

COMMON PATH OF TRAVEL:

MAXIMUM COMMON PATH OF TRAVEL: 30'-0"

ALL SPACES PROVIDE ACCESS TO AT LEAST 2 MEANS OF EGRESS ON A COMMON PATH OF TRAVEL FROM ANY POINT WITHIN WITH EXCEPTION OF THE MENS AND WOMENS RESTROOMS.

COMMON PATH OF TRAVEL FROM FURTHEST POINT IN WOMENS RESTROOM IS 26'-3"

DRAWING TITLE:

TITLE SHEET

PROJECT:

TENANT FIT-OUT/ NEW
FOOD ESTABLISHMENT

PROJECT ADDRESS:

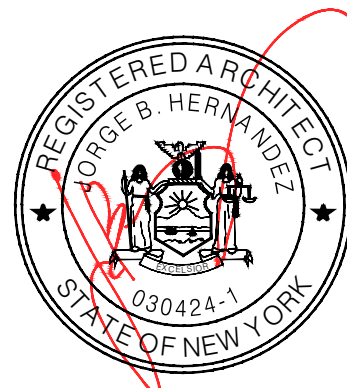
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BRIARCLIFF MANOR, NY 10510

NYS EDUCATION LAW

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DOB SCAN STICKER

SEAL & SIGNATURE



DATE:

6/12/2024

PROJECT NO:

24-068

DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO:

T=1



JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

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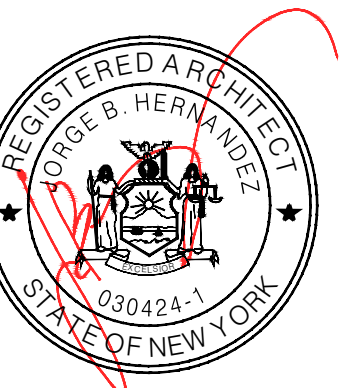
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DOB BSCAN STICKER

SEAL & SIGNATURE _____



DATE:	DWG. NO.:
6/12/2024	
PROJECT NO.:	
24-068	
DRAWING BY:	
ARQ	
CHECKED BY:	
UBH	



CONSTRUCTION TYPE: IIA
OCCUPANCY GROUP: A2
STORIES (EXISTING): 1
AREA (EXISTING): 3,700 SF

OCCUPANCY CALCULATION:

KITCHEN: 849 (GROSS)/200 = 5
STORAGE: 84 (GROSS)/300 = 1
DINING: 1,833 (NET)/15 = 123
TOTAL: 129 PERMITTED

PROPOSED ALTERATION TO OCCUPANCY CALCULATION BASED ON DINING SEATS PROVIDED:

DINING REDUCED TO OCCUPANCY OF 92 BASED ON 78 SEATS PROVIDED +
ADDITIONAL BAR PATRONS.

REVISED TOTAL OCCUPANCY: 98
REVISED TOTAL OCCUPANCY TO BE POSTED BY THE FIRE MARSHALL LIMITING
OCCUPANCY OF THE SPACE.

MINIMUM PLUMBING FIXTURE:

(2020 BC NYS TABLE 29O2.1)

	CLASSIFICATION		WATER CLOSETS		LAVATORIES		OTHER
	ASSEMBLY	RESTAURANT	MEN	WOMEN	MEN	WOMEN	
REQUIRED			1:75	1:75	1:200		1 SERVICE SINK
PROVIDED			1:62	1:31	1:62	1:31	1 SERVICE SINK

TOTAL OCCUPANCY BASED ON CALCULATION: 123
TOTAL MEN FOR FIXTURE COUNT : 62
TOTAL WOMEN FOR FIXTURE COUNT: 62
1 WATER CLOSET AND 1 SINK REQUIRED AT EACH RESTROOM.
2 WATER CLOSET AND 2 SINK PROVIDED IN MENS RESTROOM
2 WATER CLOSETS AND 2 SINKS PROVIDED IN WOMENS RESTROOM



EGRESS DISTANCE SEPARATION:

OVERALL DIAGONAL: 88'-7½"
MIN. SEPARATION REQUIRED: 88'-7½"/2 = 44'-3⅝"
MIN. SEPARATION PROVIDED: 46'-7"

LOSS OF EGRESS CALCULATION:

(2020 BC NYS TABLE 1006.2.1)
ONE LOSS OF EGRESS = 61 ADDITIONAL OCCUPANTS
REMAINING EGRESS = 3 DOORS
LOAD INCREASE AT EACH DOOR OF 21 OCCUPANTS
HIGHEST OCCUPANCY DOOR = 56 OCCUPANTS WITH
CAPACITY OF 180

DOOR CAPACITY (0.20 IN. PER OCCUPANT):

(1) 72" DOOR FRONT	: $72 \times 0.20 = 360$ PEOPLE
(2) 36' DOOR LEFT	: $36 \times 0.20 = 180$ PEOPLE
(1) 36' DOOR RIGHT	: $36 \times 0.20 = 180$ PEOPLE

COMMON PATH OF TRAVEL:

MAXIMUM COMMON PATH OF TRAVEL: 30'-0"

ALL SPACES PROVIDE ACCESS TO AT LEAST 2 MEANS OF EGRESS ON A COMMON PATH OF TRAVEL FROM ANY POINT WITHIN WITH EXCEPTION OF THE MENS AND WOMENS RESTROOMS.

COMMON PATH OF TRAVEL FROM FURTHEST POINT IN WOMENS RESTROOM IS 26'-3"



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[illegible]

DRAWING TITLE:
EXISTING & PROPOSED SITE
PLAN AND ZONING DATA

PROJECT: TENANT FIT-OUT/ NEW
FOOD ESTABLISHMENT

PROJECT ADDRESS:
549 N STATE ROAD
BRIARCLIFF MANOR, NY 10510

PHYS EDUCATION LAW

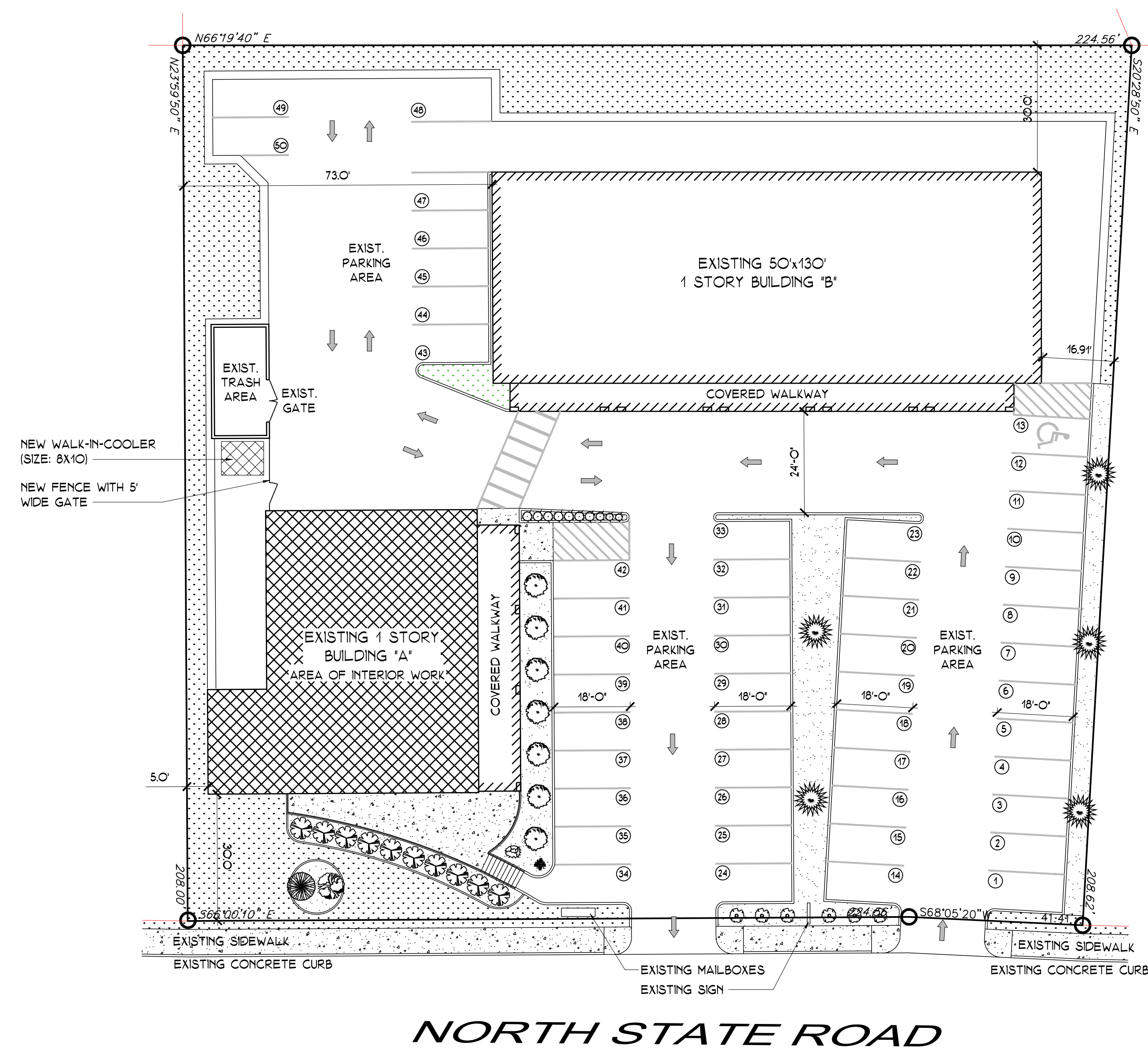
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6/12/2024	
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24-068	
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ARQ	
CHECKED BY:	
JBH	



EXIST. & PROPOSED SITE PLAN 1" = 20'-0"

TAX MAP DESIGNATION: ZONING DISTRICT: GB		SECT: 90.15 GENERAL BUSINESS DISTRICT		BLOCK: 1	LOT: 44
		REQUIREMENTS	EXISTING	PROPOSED	VARIANCE
LOT AREA	SQ. FT.	20,000 S.F.	45,259 S.F.	N.C.	NO
MINIMUM LOT WIDTH	FEET	100.0'	211.8'	N.C.	NO
MINIMUM LOT DEPTH	FEET	130.0'	208.0'	N.C.	NO
MINIMUM FRONT YARD	FEET	30.0'	30.0'	N.C.	NO
MINIMUM ONE SIDE YARD	FEET	-	5.0'	N.C.	NO
MINIMUM BOTH SIDE YARD	FEET	-	21.9'	N.C.	NO
MINIMUM REAR YARD (X)	FEET	30.0'	30.0'	N.C.	NO
GROSS FLOOR AREA					
BUILDING 'A'	S.F.	-	3,700 S.F.		
BUILDING 'B'	S.F.	-	6,500 S.F.	N.C.	NO
TOTAL:	S.F.	-	10,200 S.F.		
MAX. BUILDING HEIGHT	FT./STY.	35/2	EX/2	N.C.	NO
MAX. BUILDING COVERAGE	%	30%	26%	N.C.	NO

EX. = EXISTING N.C. = NO CHANGE E.N.C. = EXISTING NON-COMPLIANT	x = REAR YARD ALONG ANY RESIDENCE DISTRICT BOUNDARY.
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MINIMUM OFF STREET PARKING SPACES:

EXISTING PARKING TABULATION:

TOTAL AREA	BUILDING "A" 3,700 SF / 200 = 18.5 PARKING SPACES
	BUILDING "B" 6,500 S.F. / 200 = 32.5 PARKING SPACES
TOTAL REQUIRED:	51 PARKING SPACES

PROPOSED PARKING TABULATION:

TOTAL AREA	BUILDING 'A' 3,700 SF (FOOD ESTABLISHMENT)	78 SEATS / 3 = 26 PARKING SPACES
	BUILDING 'B' 6,500 S.F. / 200 = 32.5 PARKING SPACES	

TOTAL REQUIRED: 58.5 PARKING SPACES
(COMBINED SPACE USE (#200-29(A)7) = -9 (35% REDUCTION))
TOTAL REQUIRED: 49.5 = 50 PARKING SPACES



- | CONSTRUCTION LEGEND: | |
|---|--|
| SYMBOL | DESCRIPTION |
|  | EXISTING WALL TO REMAIN |
|  | NEW FOUNDATION WALL
CONCRETE FOUNDATION WALL ON
CONCRETE FOOTING. SEE PLANS. |
|  | NEW EXTERIOR WALL (SEE PLANS)
2X6 WOOD STUDS @ 16" O.C. ON
2X6 PLATE. 6" MIN. INSULATION.
(SEE EXTERIOR WALL NOTES) |
| | NEW INTERIOR WALL
NEW MTL. STUDS WALL WITH 5/8"
GYP. BD. SEE DETAIL FOR MORE
INFO. |
|  | NEW DOOR
INDICATES DOOR SIZE |
|  | NEW WINDOW
INDICATES WINDOW SIZE |
| | REMOVE EXISTING CONSTRUCTION
FROM SURFACE OF WALL TO
UNDERSIDE OF FLOOR DECKING
ABOVE. 2. REMOVE / RELOCATE
EXISTING ELECTRICAL OUTLETS,
SWITCHES ETC., AS REQUIRED.
REWORK WIRING AS NECESSARY
FOR CONTINUED POWER TO
REMAINING OUTLETS. SWITCHES
OR IF OUTLETS NOT REQUIRED
REMOVE WIRING BACK TO
NEAREST JUNCTION BOX TO
REMAIN. 3. REMOVE / RELOCATE
EXISTING PLUMBING AS REQUIRED.
REWORK PLUMBING AS NECESSARY
TO MAINTAIN INTEGRITY OF
EXISTING SYSTEM TO REMAIN. CAP
ALL UNUSED PIPING IN WALLS,
FLOOR OR CEILINGS TO REMAIN.
NOTIFY ARCHITECT IF ANY
OBSTACLES APPEAR DURING
DEMOLITION. |
| <p>NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED. ALL WOOD IN CONTACT WITH CONCRETE TO BE P.T.</p> <p>ALL PLUMBING WORK SHALL BE PERFORMED BY A
OSHSING LICENSED PLUMBING CONTRACTOR UNDER A
SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL
ALL PERMITS HAVE BEEN APPROVED.</p> | |

- [illegible]



TILE COVE BASE 3' x 1'-0"

[illegible]



TILE COVE BASE 3' = 1'-0"

NOTE: ALL ELECTRICAL INFORMATION SHOWN
IN THIS PLAN IS EXISTING U.O.N.

