

GENERAL CONSTRUCTION REQUIREMENTS

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, 2020 EXISTING BUILDING CODE OF NEW YORK STATE, 2020 PLUMBING CODE OF NEW YORK STATE, 2020 MECHANICAL CODE OF NEW YORK STATE, 2011 N.E.C. ELECTRICAL CODE AND OSISING TOWN ZONING CODE.
1. VERIFIED, ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER PRIOR TO COMMENCEMENT OF WORK.
  2. ALL REQUIRED AND NECESSARY PERMITS SHALL BE SECURED FROM ALL MUNICIPAL AGENCIES HAVING JURISDICTION AT THE COST AND EXPENSE OF THE CONTRACTOR AND PRIOR TO START OF WORK AND SHALL OBTAIN APPROVAL OF ALL COMPLETED WORK AS REQUIRED BY ADMINISTRATIVE CODE AND ALL REQUIRED AGENCIES.
  3. EACH CONTRACTOR WILL BE HELD RESPONSIBLE FOR HIS WORK.
  4. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSION AND CONDITIONS OF THE BUILDINGS AND WILL BE RESPONSIBLE FOR THE JOINING OF WORK OF ALL TRADES. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE REQUIREMENTS OF 4 "SAFETY OF PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS" AND SHALL BE HELD RESPONSIBLE FOR THE SAFE MAINTENANCE AS PRESCRIBED THEREIN UNTIL COMPLETION OF ALL WORK.
  5. NO DRAWINGS TO BE SCALED, DIMENSIONS ARE TO BE USED.
  6. THE CONTRACTOR OR PERSON WHO SUPERVISED OR SUPERINTENDENT THE WORK IS REQUIRED TO BE PRESENT AT FINAL INSPECTION WITH THE BUILDING DEPARTMENT INSPECTOR.
  7. THE CONTRACTOR SHALL UPON COMPLETION OF THE WORK SEE THAT THE JOB IS BROOM SWEEP, AND AT HIS OWN COST DELIVER A CERTIFICATE OF OCCUPANCY TO THE OWNER AS ISSUED BE THE LOCAL DEPARTMENT OF BUILDINGS.
  8. THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED TO SUPERVISE ANY CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT.
  9. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES.
  10. ALL WORK SHALL COMPLY WITH THE CODE OF THE TOWN OF GREENBURGH, NY AND ALL OTHER APPLICABLE LAWS AND ORDINANCES NOT HEREIN NOTED.
  11. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE.
  12. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE & UNOBSTRUCTED AT ALL TIMES. STAIRS SHALL HAVE HANDRAILS ON EACH SIDE (EXCEPT STAIRS LESS THAN 44" WIDTH) HAVING FINGER CLEARANCE OF 1 1/2" PROJECTING NOT MORE THAN 3 1/2" AND 34" ABOVE THE TREAD NOSING. HANDRAILS SHALL BE RETURNED TO WALLS AND POSTS AT THEIR TERMINATION.
  13. CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UTILITY LINES AND REPORT TO THE A/E ANY CONDITION NOT CONSISTENT WITH THE DRAWINGS.
  14. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS AND STANDARDS OF THE BUILDING CODE AND ZONING RESOLUTION.
  15. IT SHALL ALSO BE THE CONTRACTORS RESPONSIBILITY TO SEEK CERTIFICATION OF THE AFOREMENTIONED SECTIONS, REQUIREMENTS AND STANDARDS.
  16. IT SHALL BE ASSUMED THAT THE CONTRACTOR IS FULLY AWARE AND SHALL BE HELD RESPONSIBLE FOR ITEMS MENTIONED (BLDG. CODE SON. RES. N.Y.S. ENERGY CONSERVATION CODE, ETC.)
  17. SHOULD THERE BE NO NOTIFICATION BY THE CONTRACTOR TO THE A/E, CONTRACTOR SHALL VISIT THE SITE, CHECK AND VERIFY CONDITIONS, FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND CORRELATE HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE PLANS ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
  18. CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL THE ACTS AND OMISSIONS OF ALL HIS EMPLOYEES AND SUB-CONTRACTORS, THEIR AGENTS AND ALL OTHER PERSONS PERFORMING ANY OF THE TO BE DONE.
  19. CONTRACTOR SHALL PURCHASE AND MAINTAIN SUCH INSURANCE AS WILL PROTECT HIM RESULT FROM THE CONTRACTORS OPERATIONS, WHETHER BE HIMSELF, SUB-CONTRACTOR, OR BY ANY OF THEM FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE.
  20. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS OF PUBLIC AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY & TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS.

DIVISION 6 - CARPENTRY

- LUMBER SHALL CONFORM TO PRODUCT STANDARD PS 20, AND GRADED IN ACCORDANCE WITH ESTABLISHED GRADING RULES. MAXIMUM MOISTURE CONTENT SHALL BE 19 PERCENT. ROUGH CARPENTRY:
- 2.1 FRAMING LUMBER: DOUGLAS FIR OR BETTER, IN GRADE BASE FB VALUE 900 PS1 2.2 STUDS: DOUGLAS FIR OR HEM FIR, STUD GRADE, SIZE AND SPACING AS INDICATED ON THE DRAWINGS.
  - 2.3 UNDERLAYMENT: 1/2" PLYWOOD UNDERLAYMENT, EXTERIOR GRADE (EXCEPT UNDER TILE FLOORS). AT TILE 1/2" WONDERBOARD UNDERLAYMENT.
  - 2.4 BLOCKING, BRIDGING, NAILERS, AND FURRING: COMMON DOUGLAS FIR, SOUTHERN PINE OR HEMLOCK, LEDGER BOARDS, WHERE REQUIRED, SHALL BE SECURELY SET WITH JOISTS NOTCHED TIGHTLY.
  - 2.5 BRIDGING SHALL BE 5/4 X 3 DIAGONAL (OR SOLID, OR METAL) AS FOLLOWS: SPANS UP TO 14'-0", USE ONE ROW AT CENTER OF SPAN; SPANS FROM 14'-0" TO 21'-0", USE TWO ROWS AT 1/3 POINTS OF SPAN; SPANS FROM 21'-0" TO 32'-0", USE THREE ROWS AT 1/4 POINTS OF SPAN. PROVIDE SOLID BRIDGING UNDER ALL PARTITIONS PERPENDICULAR TO THE JOISTS.
  - 2.6 BLOCKING SHALL BE PROVIDED, AS REQUIRED, FOR THE APPLICATION OF SHEATHING, WALLBOARD, AND OTHER MATERIALS OR BUILDING ITEMS, AND TO PROVIDE FIRESTOPPING WHERE REQUIRED.
  - 2.10 DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL TO THE FRAMING.
  - 2.11 DOUBLE HEADER AND TRIMMER JOIST AT ALL FLOOR OPENINGS.
  - 2.12 CONCEALED SPACES WITHIN WALL PARTITIONS, FLOOR OR CORNICE CONSTRUCTION, AND AROUND CHIMNEYS, PIPES AND DUCT OPENINGS IN SUCH CONSTRUCTION, SHALL BE FIRESTOPPED.
  - 2.13 CONCEAL VERTICAL SPACES IN WALLS AND PARTITIONS SHALL BE FIRESTOPPED AT EACH FLOOR LEVEL AND AT THE CEILING OF THE UPPERMOST STORY SUCH THAT THESE SPACES SHALL NOT BE CONTINUOUS FOR MORE THAN ONE STORY, OR COMMUNICATE WITH CONCEALED HORIZONTAL SPACES IN THE FLOOR OR ROOF CONSTRUCTION.
  - 2.14 ALL MEMBERS SHALL BE CLOSELY FITTED, ACCURATELY SET TO THE REQUIRED LINES AND LEVELS, AND RIGIDLY SECURED IN PLACE. NAILING SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL CODES. JOISTS SHALL BE SET WITH THE CROWN EDGE UP.
  - 2.15 ALL WOOD WHICH COMES IN CONTACT WITH CONCRETE SHALL BE TREATED WITH PENTACHLOROPHENAL, WOODLIFE OR BAR D-K.
  - 2.16 (3/2X12)S OVER ALL OPENINGS UNLESS INDICATED OTHERWISE.
  - 2.17 PROVIDE SOLID BLOCKING FOR THE BEARING OF ALL BEAMS AND COLUMNS, BEAMS SHALL HAVE BEARING OF NOT LESS THAN 4 INCHES ON CONCRETE OR MASONRY, AND 1-1/2 INCHES ON WOOD OR METAL. JOISTS, TRIMMERS, HEADERS AND BEAMS FRAMING INTO CARRYING MEMBERS AT THE SAME RELATIVE LEVELS SHALL BE CARRIED ON JOIST HANGERS.
  - 2.18 JOIST HANGERS SHALL BE GALVANIZED STEEL OR IRON, SIZED TO FIT THE SUPPORTED MEMBER AND OF SUFFICIENT STRENGTH TO DEVELOP THE FULL STRENGTH OF THE SUPPORTED MEMBER, AND FURNISHED COMPLETE WITH ANY SPECIAL FASTENERS REQUIRED.
  - 2.19 FITS 1/2" MEDIUM DENSITY OVERLAID PLYWOOD EXTERIOR GLUE LINE, WITH CONTINUOUS ALUMINUM SCREENED VENT.

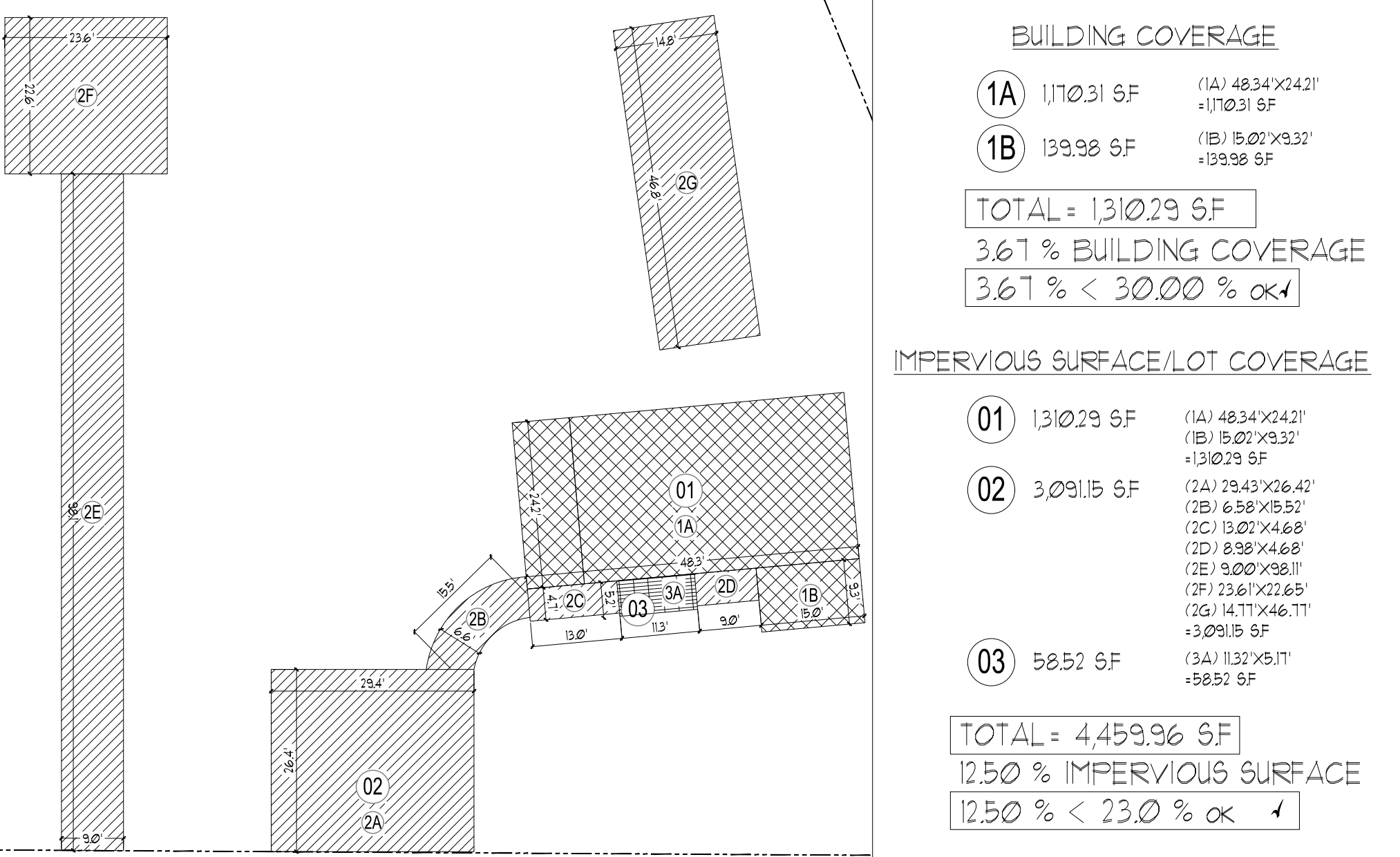
PLUMBING NOTES

1. ALL PLUMBING WORK IS TO COMPLY WITH ALL 2020 NEW YORK STATE PLUMBING CODE.
2. THE PLUMBING CONTRACTOR (P.C.) IS TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS PERTAINING TO THE PLUMBING WORK. THE P.C. IS TO ARRANGE FOR ALL REQUIRED INSPECTIONS AND OBTAIN ALL APPROVALS.
3. THE P.C. IS TO SUPPLY ALL REQUIRED LABOR, MATERIAL, EQUIPMENT AND SERVICES NECESSARY FOR THE COMPLETE INSTALLATION OF ALL PLUMBING FIXTURES AND PIPING AS INDICATED ON THE DRAWING AND AS MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO THE FOLLOWINGS:
4. A. INSTALLATION OF NEW WATER SUPPLY LINES, SANITARY WASTE AND VENT LINES, VALVES AND PLUMBING FIXTURES REQUIRED FOR A COMPLETE INSTALLATION.
5. ALL VALVES, TRAPS, CLEAN OUTS, ETC. AND OTHER WORK IS TO BE INSTALLED TO BE READILY ACCESSIBLE FOR OPERATION, REPAIR AND MAINTENANCE. ALL PIPING IS TO RUN CONCEALED.
6. PIPING LAYOUT IS DIAGRAMMATIC ONLY. THE P.C. IS TO PROVIDE AS BUILT DRAWINGS SHOWING LOCATIONS, DIMENSIONS AND ANY AND ALL CHANGES MADE THAT DEVIATES FROM THE CONSTRUCTION DOCUMENTS.
7. ALL UNDERGROUND SANITARY SEWER PIPING TO BE SERVICE WEIGHT CAST IRON PIPING WITH HUB LESS CONNECTORS UNLESS OTHERWISE NOTED.
8. INSTALL CLEAN OUTS AT ALL DEAD ENDS, AT TRAPS, AT BASE OF STACKS, AT CHANGES IN DIRECTION AND HORIZONTAL RUNS. PAVED 10'-0" MAXIMUM FOR PIPES 4" OR SMALLER AND 100'-0" MAXIMUM FOR PIPES LARGER THAN 4".
9. ABOVE GROUND SANITARY WASTE PIPING AND VENT PIPING TO BE CAST IRON, COPPER, GALVANIZED STEEL OR OTHER APPROVED MATERIAL. NO PVC IS TO BE USED.
10. ALL VENT PIPES TO BE A MINIMUM OF 12' ABOVE THE ROOF. THE P.C. IS TO PROVIDE VENT FLASHING. COORDINATE WITH G.C. FOR TYPE OF ROOF SPECIFIED.
11. WATER SERVICE AND DISTRIBUTION PIPING TO BE COPPER, TYPE "K" FOR BELOW GROUND AND TYPE "L" FOR ABOVE GROUND. FITTINGS TO BE COPPER OR BRASS. ALL JOINTS TO BE FORMERLY CLEANED, FLUXED AND SOLDERED USING LEAD FREE SOLDER CONFORMING TO A.S.T.M. 632. FLARED FITTINGS AND THREADED FITTINGS ARE ALSO PERMITTED.
12. HANGER AND SUPPORTS FOR WATER PIPING TO BE OF AN APPROVED TYPE. SPACED 6'-0" O.C. MAXIMUM FOR PIPES SMALLER THAN 2" AND 10'-0" O.C. MAXIMUM FOR PIPES 2" AND LARGER.
13. ALL FLOAT WATER PIPING TO BE INSULATED PER THE REQUIREMENTS OF THE N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE. THE INSULATION IS TO BE FIBERGLASS, FOAM OR ANOTHER APPROVED MATERIAL.
14. INTERIOR ROOF LEADERS ARE TO BE CAST IRON, COPPER OR GALVANIZED STEEL PIPE. INSULATE INTERIOR LEADERS TO PREVENT FREEZING, SEATING AND NOISE TRANSMISSION. PROVIDE A CLEAN OUT AT THE BASE OF ALL INTERIOR LEADERS.
15. EXCAVATIONS FOR UNDERGROUND PIPING TO BE OF THE REQUIRED DEPTH PITCH AND LOCATIONS WITH A FIRM BED TAMPED AS REQUIRED. BACK FILL TO BE CLEAN EARTH WITH STONE SIZES NOT TO EXCEED 2" IN DIAMETER, SAND OR GRAVEL, BACK FILLING AND COMPACTION ARE TO BE PERFORMED IN SUCH A METHOD TO ASSURE PROPER COMPACTNESS WITHOUT DAMAGE TO THE PIPE. THE P.C. IS TO PROVIDE DEWATERING AS MAY BE REQUIRED.
16. PROVIDE CHROME PLATED SHUT OFF VALVES WITH CHROME PLATED ESCUTCHEON PLATES AT EACH FIXTURES HOT AND COLD WATER LINES.
17. WHERE HOT AND COLD WATER LINES AND WASTE TRAPS ARE EXPOSED UNDER HANDICAPPED ACCESSIBLE LAVATORIES, THE P.C. IS TO INSULATE THOSE ITEMS IN CONFORMANCE WITH THE ADA AND ANSI A111-1998.
18. ALL FLOOR DRAINS ARE TO HAVE DEEP TRAP WATER SEALS OF 4" MINIMUM AND ADJUSTABLE STRAINERS WITH BRASS FINISH. PROVIDE REMOTE VENT UNDER SLAB AT EACH FLOOR DRAIN TYPICAL.

SCOPE OF WORK

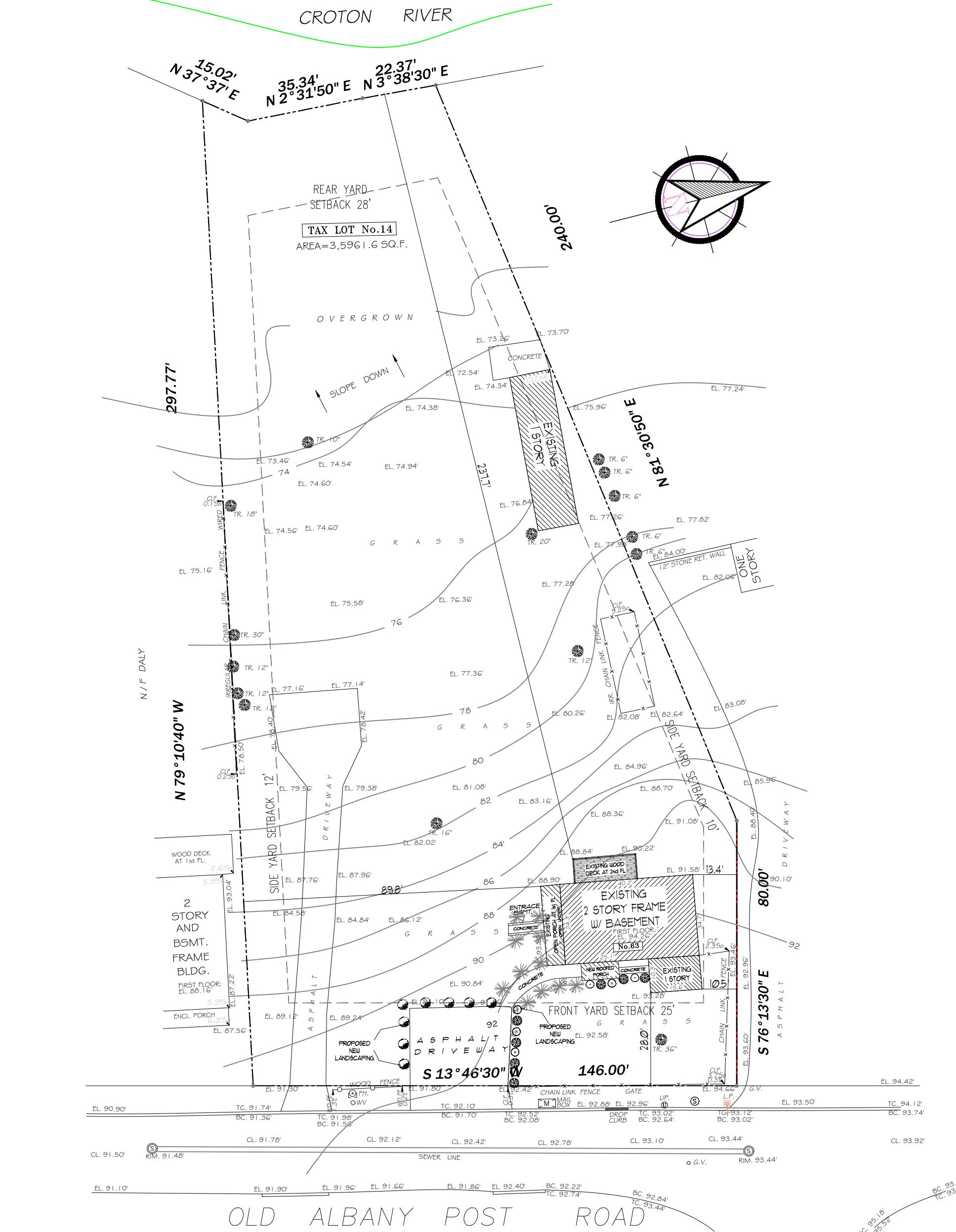
PROPOSED INTERIOR RENOVATION & 2ND FL ADDITION OF EXISTING ONE FAMILY HOUSE:  
1ST FLOOR: INTERIOR RENOVATION, RELOCATION OF EXISTING KITCHEN, NEW WOOD STAIRCASE, PROPOSED BEDROOM AND OFFICE.  
2ND FLOOR: DEMOLITION AND RENOVATION OF EXISTING 2ND FLOOR, PROPOSED MASTER BEDROOM AND BATHROOM, PROPOSED 2 BEDROOMS AND PROPOSED BATHROOM.  
INSTALL NEW FLOOR, CEILING AND ROOF FRAMING, INSTALL NEW ROOF  
EXTERIOR: PROPOSED NEW DORMER AND FRONT PORCH, REPLACE SIDING W/ NEW HARDIE PLANK LAP SIDING

ZONING DIAGRAM



ZONING CALCULATION

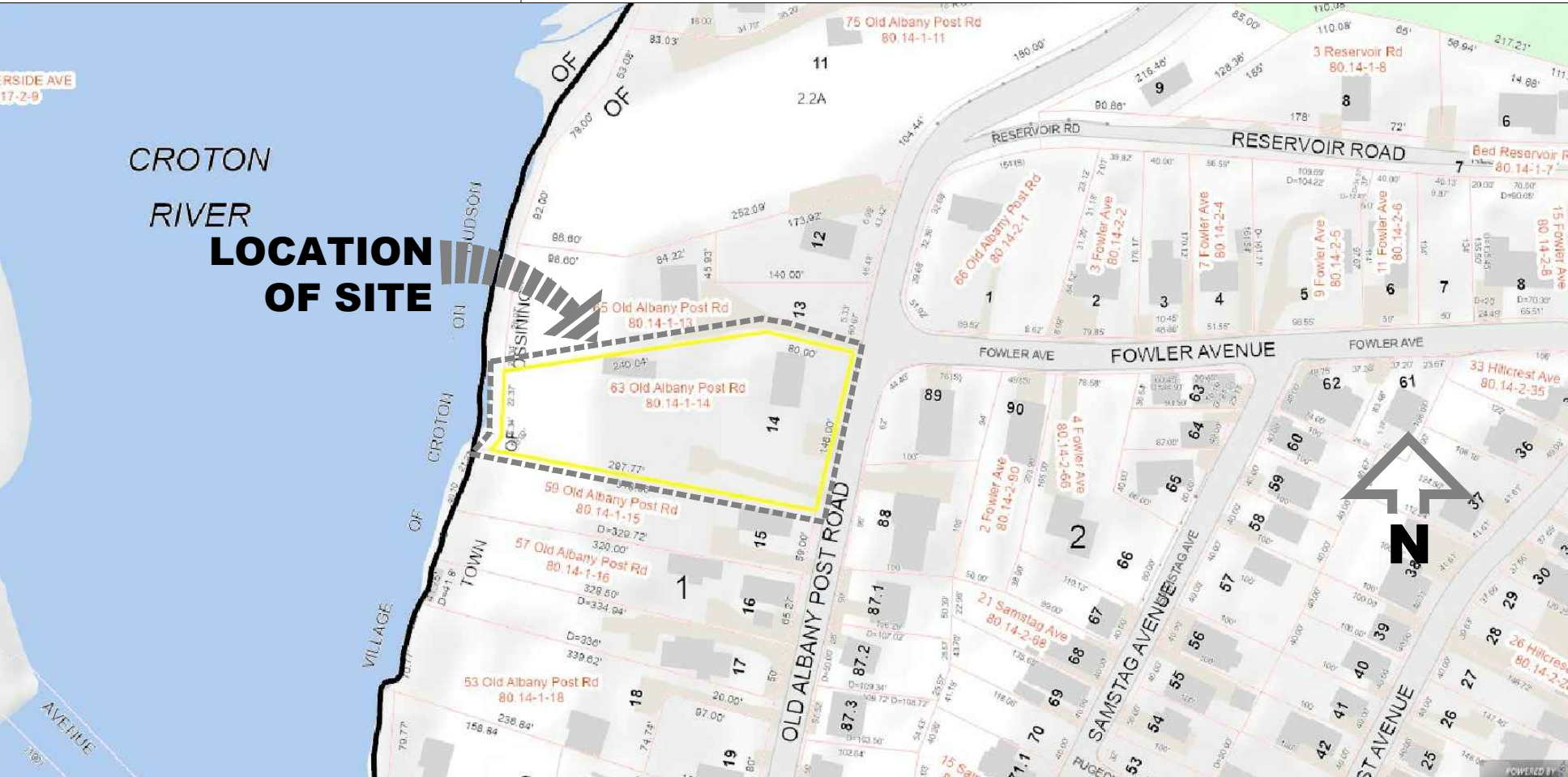
|          |                        |                         |           | MINIMUM YARDS |           |           |           | MAXIMUM COVERAGE  |                   |                        |         |
|----------|------------------------|-------------------------|-----------|---------------|-----------|-----------|-----------|-------------------|-------------------|------------------------|---------|
|          | ONE FAMILY RESID. ZONE | MIN. LOT AREA in sq.ft. | LOT WIDTH | LOT DEPTH     | FRONT     | REAR      | ONE SIDE  | TOTAL OF TWO SIDE | BUILDING COVERAGE | IMPERVIOUS SURFACES    | STORIES |
| REQUIRED | R-7.5                  | 7,500                   | 60        | 100           | 25        | 28        | 10        | 22                | 30%               | 23%                    | 2 1/2   |
| EXISTING | R-7.5                  | 35,669.18               | 116       | 274           | 28.00'    | 237.70'   | 10.50     | 100.30            | 3.67%             | 12.34%                 | 2       |
| PROPOSED | R-7.5                  | NO CHANGE               | NO CHANGE | NO CHANGE     | NO CHANGE | NO CHANGE | NO CHANGE | NO CHANGE         | NO CHANGE         | 0.16%<br>TOTAL: 12.50% | 2       |



PLOT PLAN

1/16"=1'-0"

| ZONING DATA                                                                        | LIST OF JOB TO BE FILED UNDER SEPARATE APPL |
|------------------------------------------------------------------------------------|---------------------------------------------|
| 63 OLD ALBANY POST RD,<br>OSSINING, NY 10562<br>SECTION: 80.14 BLOCK: 1<br>LOT: 14 | -PLUMBING<br>-ELECTRICAL<br>-HVAC           |



LOCATION MAP  
N.T.S.

ENERGY CONSERVATION CERTIFICATION

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED JOHN ALLEYNE P.E., THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AS CURRENTLY IN EFFECT.

05/05/2025

DATE

ZONING DATA

63 OLD ALBANY POST RD,  
OSSINING, NY 10562

SECTION: 80.14 BLOCK: 1  
LOT: 14 ZONE: R-7.5

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING AREA TO BE REMOVED
- NEW 2"x4" STUD WALL @ 16" O.C.
- NEW 2"x6" STUD WALL @ 16" O.C. W/ NEW R-21 BATT INSULATION AND VINYL SIDING ON EXTERIOR FINISH
- S.D. SMOKE DETECTOR
- C.M. CARBON MONOXIDE
- M.V. 50 CFM MECHANICAL VENTILATION
- F.E. FIRE EXTINTOR
- H.D. HEAT DETECTOR

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OWNER

MEM FLIPP CORP / MANUEL HERNANDEZ

PROJECT

PROPOSED INTERIOR RENOVATION & 2ND  
FL ADDITION OF EXISTING ONE FAMILY  
HOUSE

DRAWING LIST

GENERAL NOTES  
PLOT PLAN  
ZONING DATA  
LOCATION MAP  
ZONING DIAGRAM & ZONING CALCULATION

SEAL & SIGNATURE

PROJECT No: 2025-057

DATE: 4/4/2025

DRAWING BY: AV

CKD BY: J.A.

DWG No:

A-001.00

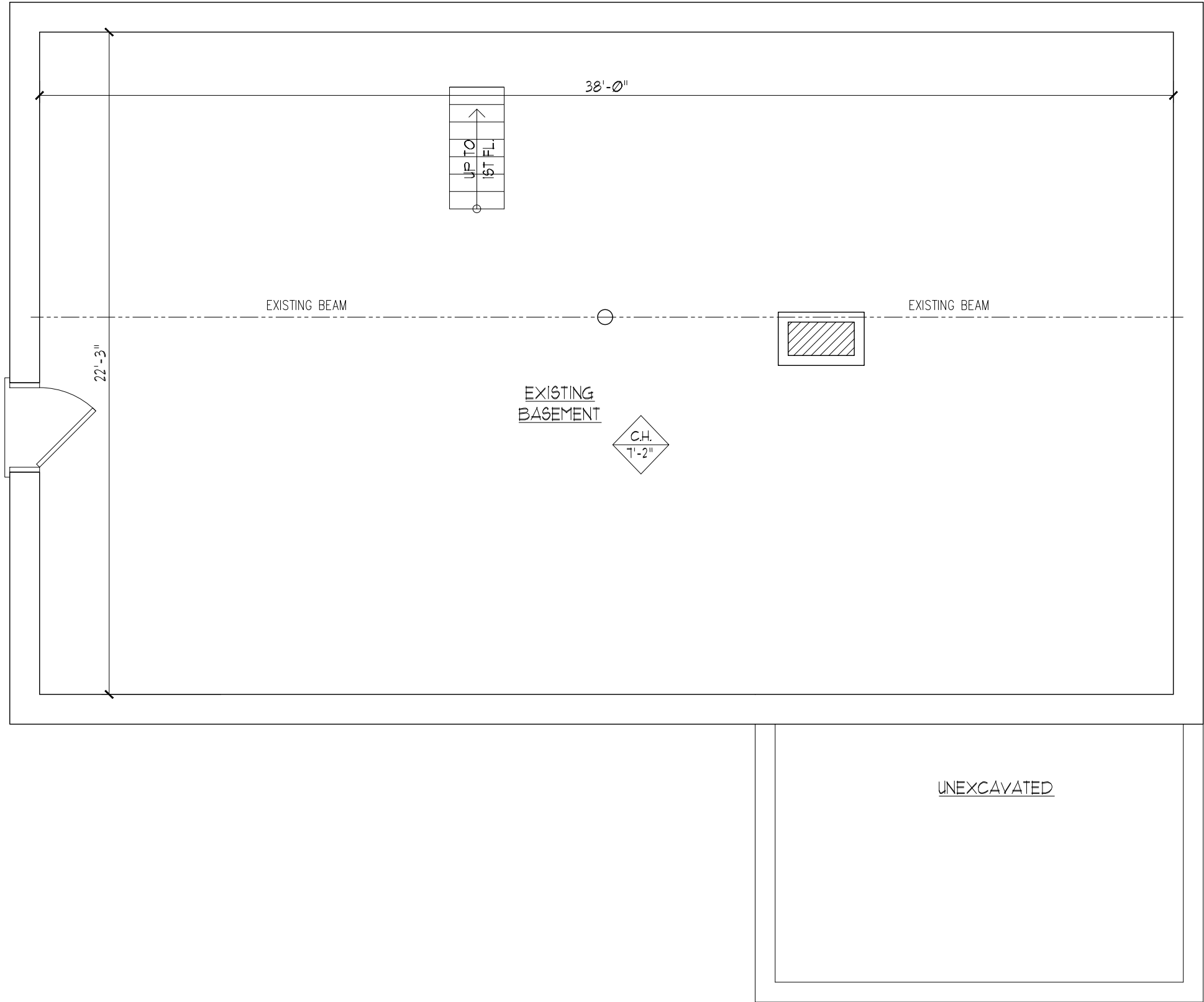
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SEPTEMBER 30, 2026

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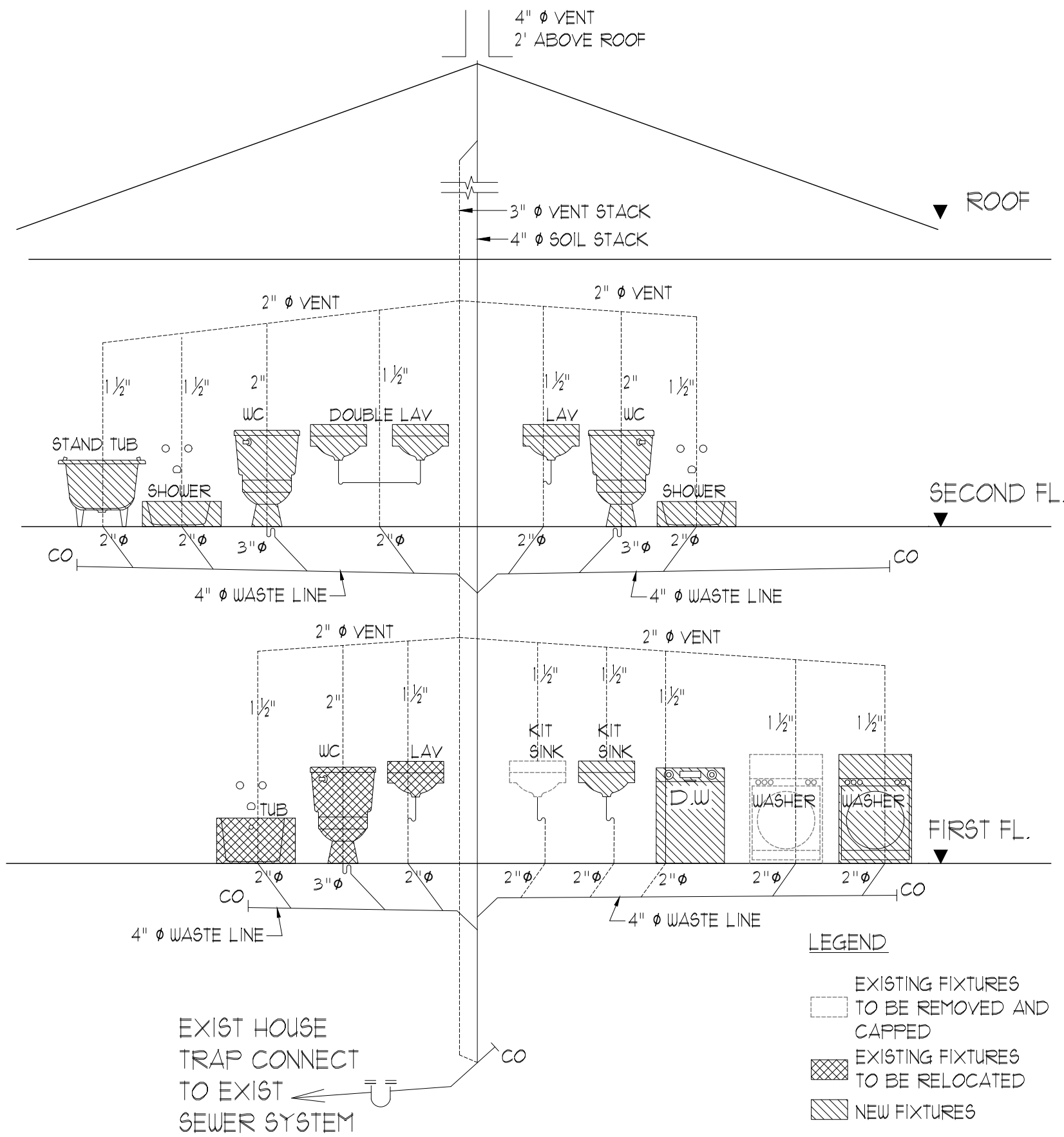
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DEMOLITION NOTES

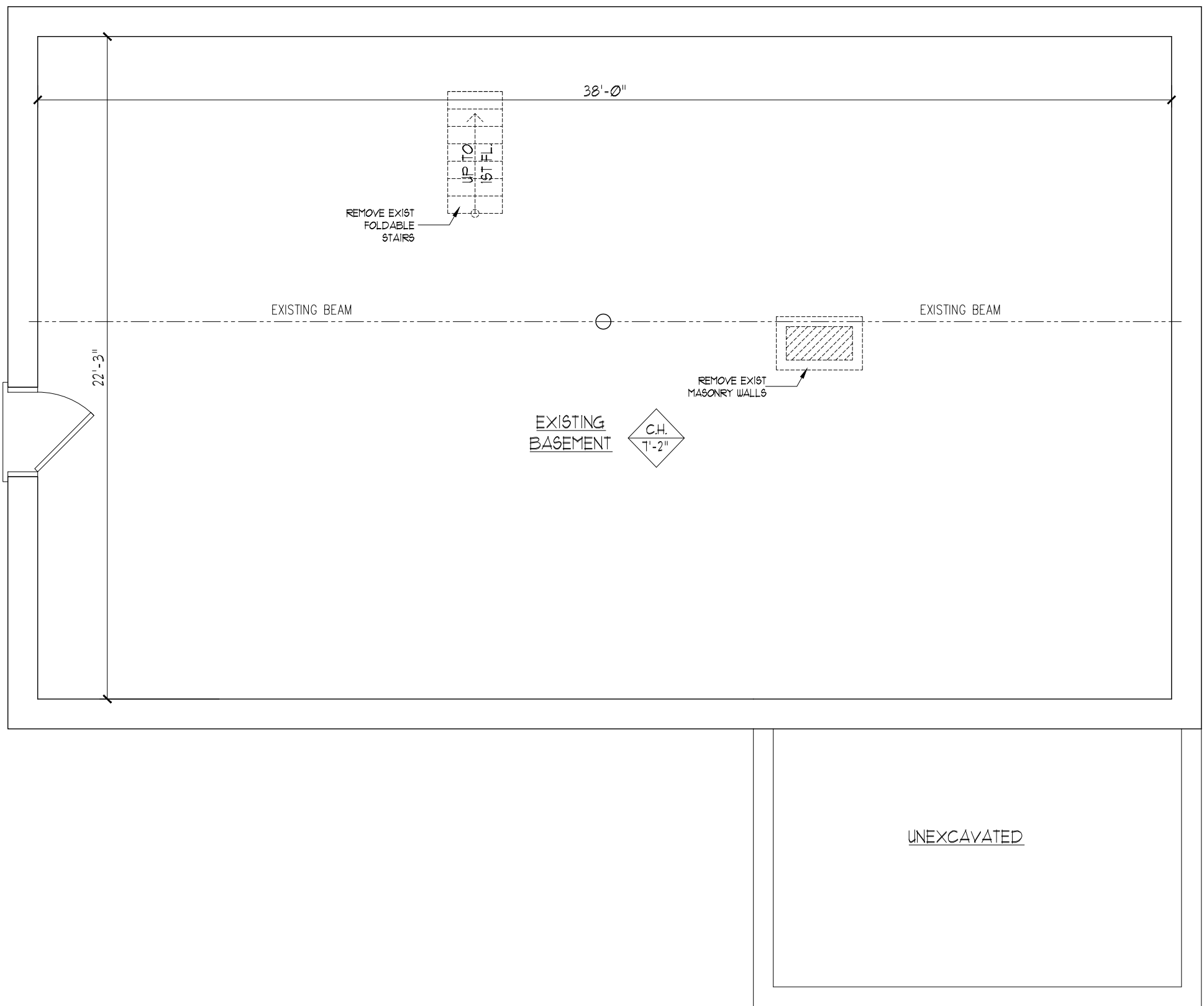
1. THE CONTRACTOR SHALL PERFORM ALL REMOVALS AND RELATED WORK AS SHOWN ON THE DRAWINGS DESCRIBED IN THESE NOTES AND REASONABLY INFERRED AS NECESSARY TO ENSURE A COMPLETE AND CLEAN OPEN SPACE, FREE OF ANY FOREIGN MATTER.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY INSPECT THE BUILDING IN ORDER TO VERIFY ACTUAL CONDITIONS AND FULL SCOPE OF DEMOLITION WORK AND REMOVAL WORK REQUIRED.
3. THE CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES TO REMAIN AND PROVIDE REASONABLE AND ADEQUATE PROTECTION FROM DEMOLITION WORK.
4. THE CONTRACTOR SHALL MAINTAIN EXISTING BUILDING UTILITIES IN OPERATION DURING THE PERFORMANCE OF THE WORK.
5. THE CONTRACTOR SHALL COMPLY WITH THE RULES OF THE BUILDING AS TO THE REQUIREMENTS FOR HANDLING OF MATERIALS, EQUIPMENT, AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH THE BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE LANDLORD. THE REMOVAL OF MATERIALS, EQUIPMENT, AND DEBRIS MUST BE ARRANGED TO AVOID INCONVENIENCE AND ANNOYANCE TO TENANTS. PRIOR TO REMOVALS THE CONTRACTOR IS TO IDENTIFY
6. ALL BUILDING SYSTEMS MATERIALS, INCLUDING PIPES, WIRING, CONDUIT, ETC. QUESTIONS REGARDING IDENTIFICATION SHALL BE ADDRESSED TO THE BUILDING ENGINEER. THE CONTRACTOR SHALL AT ALL TIMES.
7. PROTECT THE PROPERTY OF THE TENANT AND THE BUILDING OWNER INCLUDING, BUT NOT LIMITED TO, WINDOWS, PUBLIC TOILETS, ELEVATORS, DOORS, BUCKS TO REMAIN, ELECTRICAL AND AIR CONDITIONING EQUIPMENT TO BE REUSED, CONVECTOR ENCLOSURES, ETC.
8. THE CONTRACTOR SHALL MAINTAIN CLEAR EGRESS TO ALL FIRE STAIRS DURING AND AFTER DEMOLITION.
9. ALL FLOOR AND CEILING PENETRATIONS RESULTANT FROM REMOVALS ARE TO BE PATCHED TO MATCH ADJACENT FINISHES. THE CONTRACTOR IS TO MAINTAIN FIRE RATINGS OF FLOOR/CEILING ASSEMBLY AS REQUIRED BY CODE.
10. ALL EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION WORK SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREAS. CONTRACTOR SHALL MAINTAIN FIRE RATINGS AT EXISTING RATED PARTITIONS.
11. THE CONTRACTOR SHALL CAP AND FLUSH OFF BEHIND FINISH SURFACES ALL PROJECTING PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED.
12. ALL PLUMBING REMOVALS TO BE PERFORMED BY A LICENSED PLUMBER.
13. THE CONTRACTOR SHALL REMOVE ALL CONDUITS AND CIRCUITRY LEFT AFTER PARTITION DEMOLITION, INCLUDING SWITCH BOXES, PLATES, BRIDGES, TELEPHONE WIRING, ELECTRICAL WIRING, AND EQUIPMENT.
14. THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER DEMOLITION IF REQUIRED.
15. CONTRACTOR SHALL PROTECT EXISTING DOORS AND FRAMES TO REMAIN FROM DAMAGE DURING DEMOLITION.
16. CONTRACTOR SHALL PROVIDE DUST PROTECTION AT POINTS OF DEMOLITION, ELEVATORS, AND EXISTING AREAS TO REMAIN.
17. HE CONTRACTOR SHALL LEGALLY DISPOSE OF REMOVED MATERIAL AND DEBRIS DAILY.
18. UPON COMPLETION OF THE DEMOLITION WORK, THE CONTRACTOR SHALL INSURE THAT ALL AREAS BE LEFT BROOM CLEAN. FOR THE CONVENIENCE OF THE CONTRACTOR.
19. THE MAJOR ITEMS OF WORK ARE LISTED. ITEMS NOT LISTED BUT INFERRED BY THE SCOPE OF WORK ARE HEREBY NOT ELIMINATED BY REASON OF SUCH OMISSION AND SHALL BE PERFORMED BY THE CONTRACTOR. MAJOR ITEMS OF DEMOLITION INCLUDE THE FOLLOWING:  
A. REMOVE EXISTING PARTITION CONSTRUCTION WHERE SHOWN.  
B. REMOVE EXISTING CEILING WHERE ITS RETENTION IS IN CONFLICT WITH THE REQUIREMENTS FOR INSTALLATION OF NEW CONSTRUCTION AS SHOWN.



EXISTING BASEMENT PLAN  
1/4"=1'-0"



PLUMBING RISER  
N.T.S.



DEMOLITION BASEMENT PLAN  
1/4"=1'-0"

ZONING DATA

63 OLD ALBANY POST RD,  
OSSINING, NY 10562

SECTION: 80.14    BLOCK: 1  
LOT: 14            ZONE: R-7.5

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING AREA TO BE REMOVED
- NEW 2"x4" STUD WALL @ 16" O.C.
- NEW 2"x6" STUD WALL @ 16" O.C. W/ NEW R-21 BATT INSULATION AND VINYL SIDING ON EXTERIOR FINISH
- S.D.

SMOKE DETECTOR
- C.M.

CARBON MONOXIDE
- M.V.  
50 CMF

MECHANICAL VENTILATION
- F.E.

FIRE EXTINTOR
- HD.

HEAT DETECTOR

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OWNER

MEM FLIPP CORP / MANUEL HERNANDEZ

PROJECT

PROPOSED INTERIOR RENOVATION & 2ND  
FL ADDITION OF EXISTING ONE FAMILY  
HOUSE

DRAWING LIST

DEMOLITION NOTES  
PLUMBING RISER  
EXISTING BASEMENT PLAN  
DEMOLITION BASEMENT PLAN

SEAL & SIGNATURE

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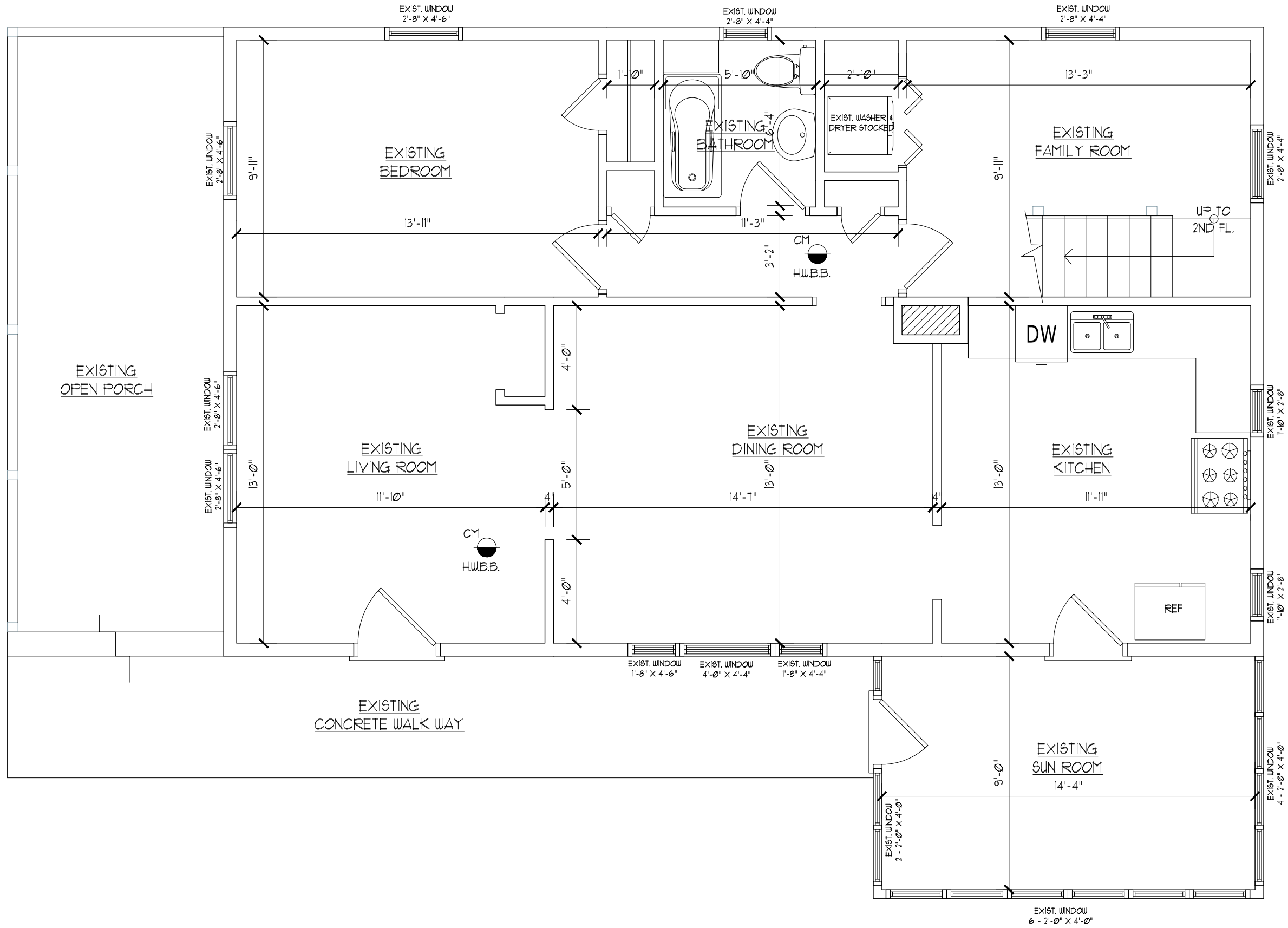
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DWG No: A-002.00

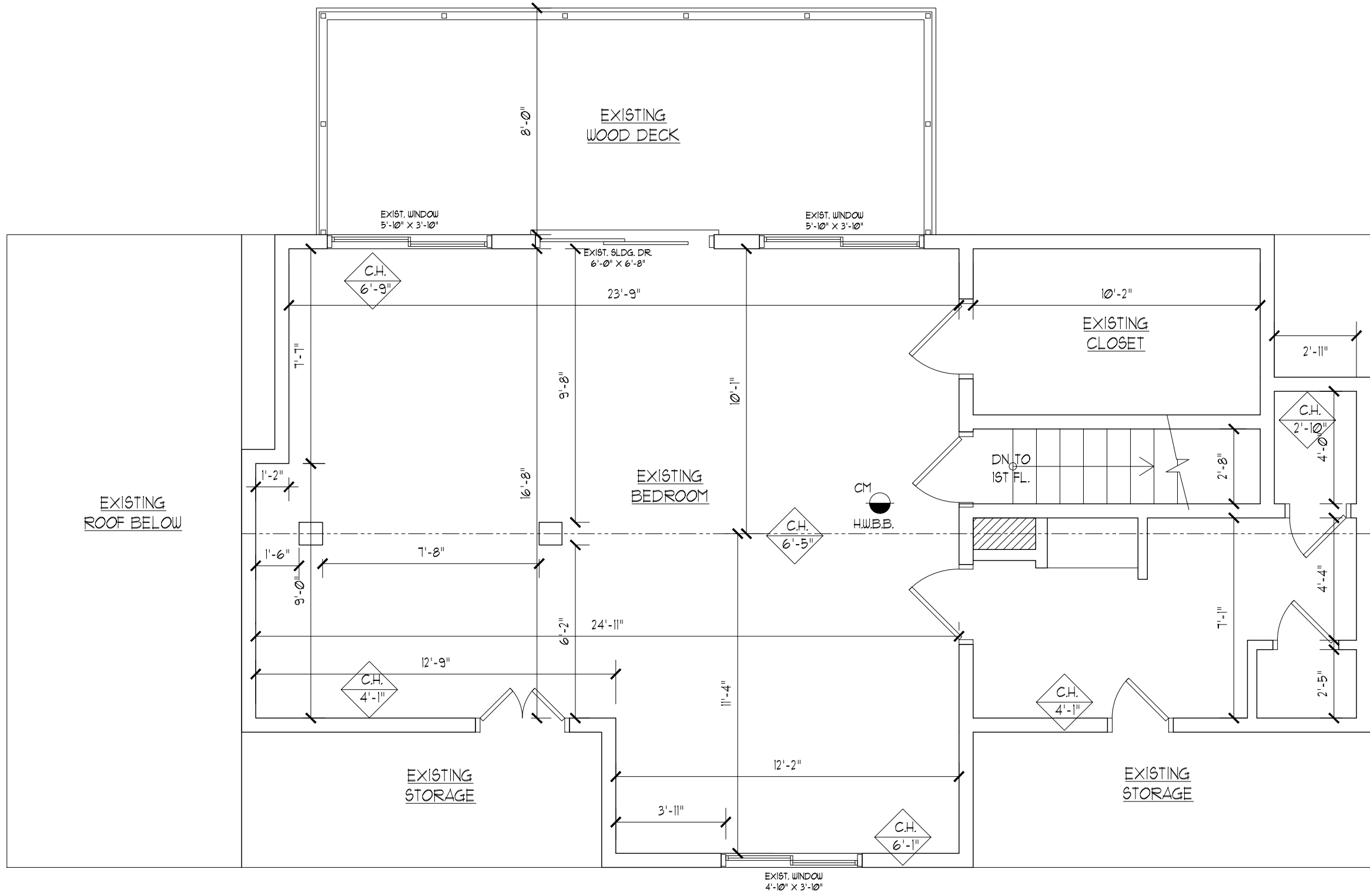
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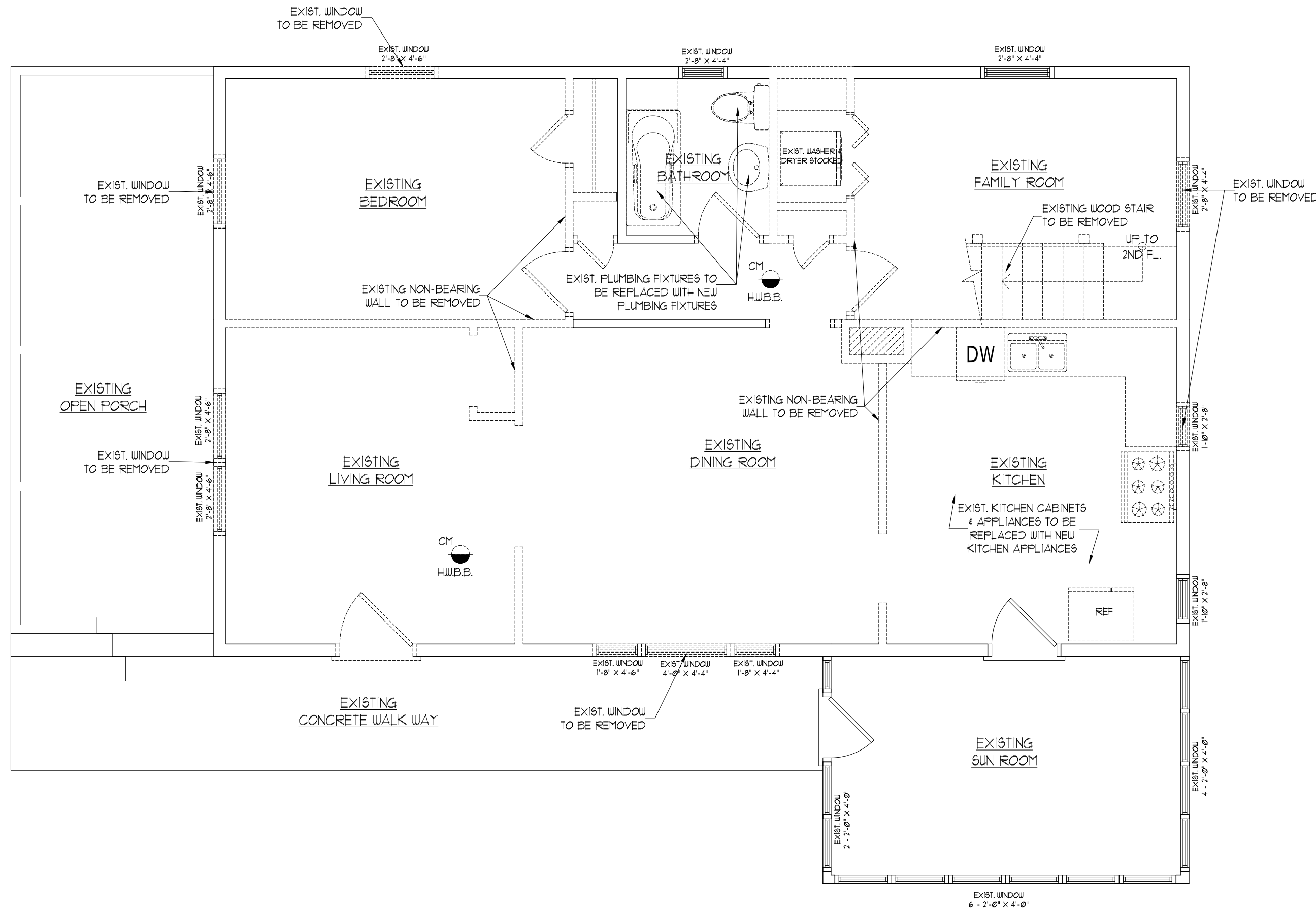
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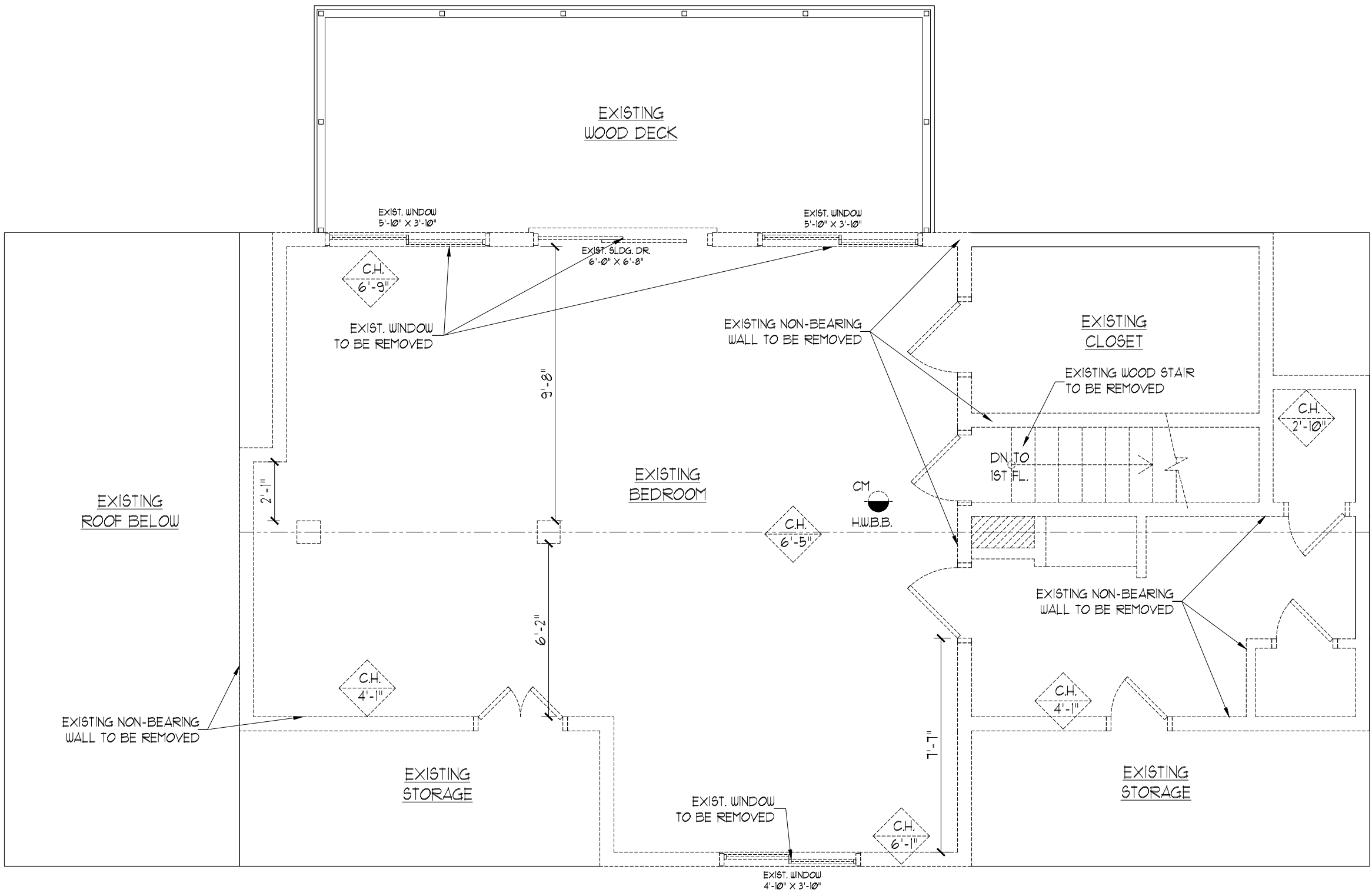
EXISTING 1ST FL PLAN  
1/4"=1'-0"



EXISTING 2ND FL PLAN  
1/4"=1'-0"



DEMOLITION 1ST FL PLAN  
1/4"=1'-0"



DEMOLITION 2ND FL PLAN  
1/4"=1'-0"

ZONING DATA

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OSSINING, NY 10562

SECTION: 80.14 BLOCK: 1  
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- H.D. HEAT DETECTOR

B E C A L L  
ENGINEERING SERVICES

158 DRAKE AVENUE - SUITE # 12  
NEW ROCHELLE - NEW YORK 10801  
becallengineeringpe@gmail.com  
914 473 1408

OWNER

MEM FLIPP CORP / MANUEL HERNANDEZ

PROJECT

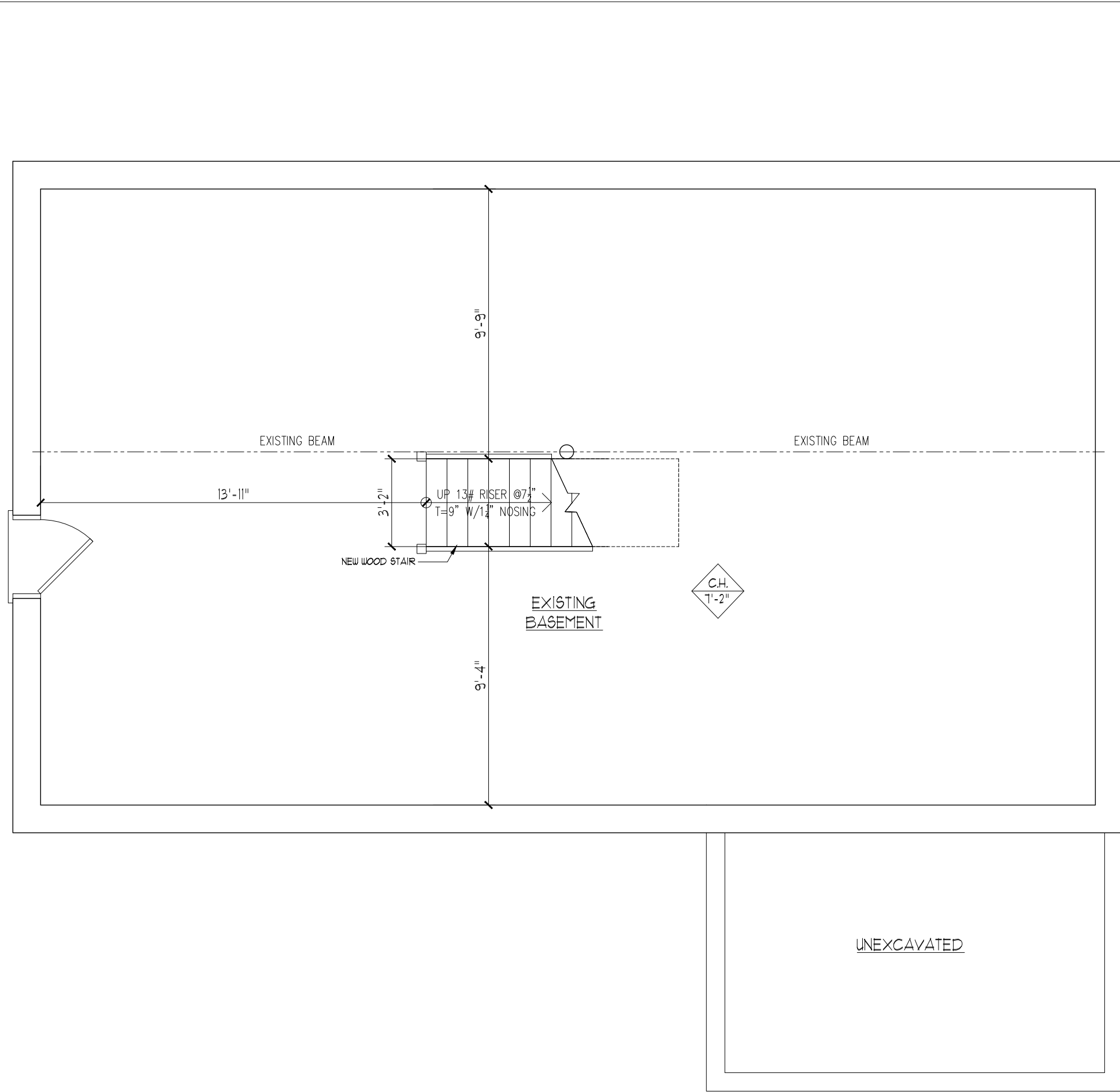
PROPOSED INTERIOR RENOVATION & 2ND  
FL ADDITION OF EXISTING ONE FAMILY  
HOUSE

DRAWING LIST

EXISTING 1ST FL PLAN  
EXISTING 2ND FL PLAN  
DEMOLITION 1ST FL PLAN  
DEMOLITION 2ND FL PLAN

|                                               |                      |
|-----------------------------------------------|----------------------|
| SEAL & SIGNATURE                              | PROJECT No: 2025-057 |
| DATE: 4/4/2025                                | DRAWING BY: AV       |
| CKD BY: J.A.                                  | DWG No: A-003.00     |
| REGISTERED THROUGH DATE<br>SEPTEMBER 30, 2026 | CAD FILE No: 3 of 10 |

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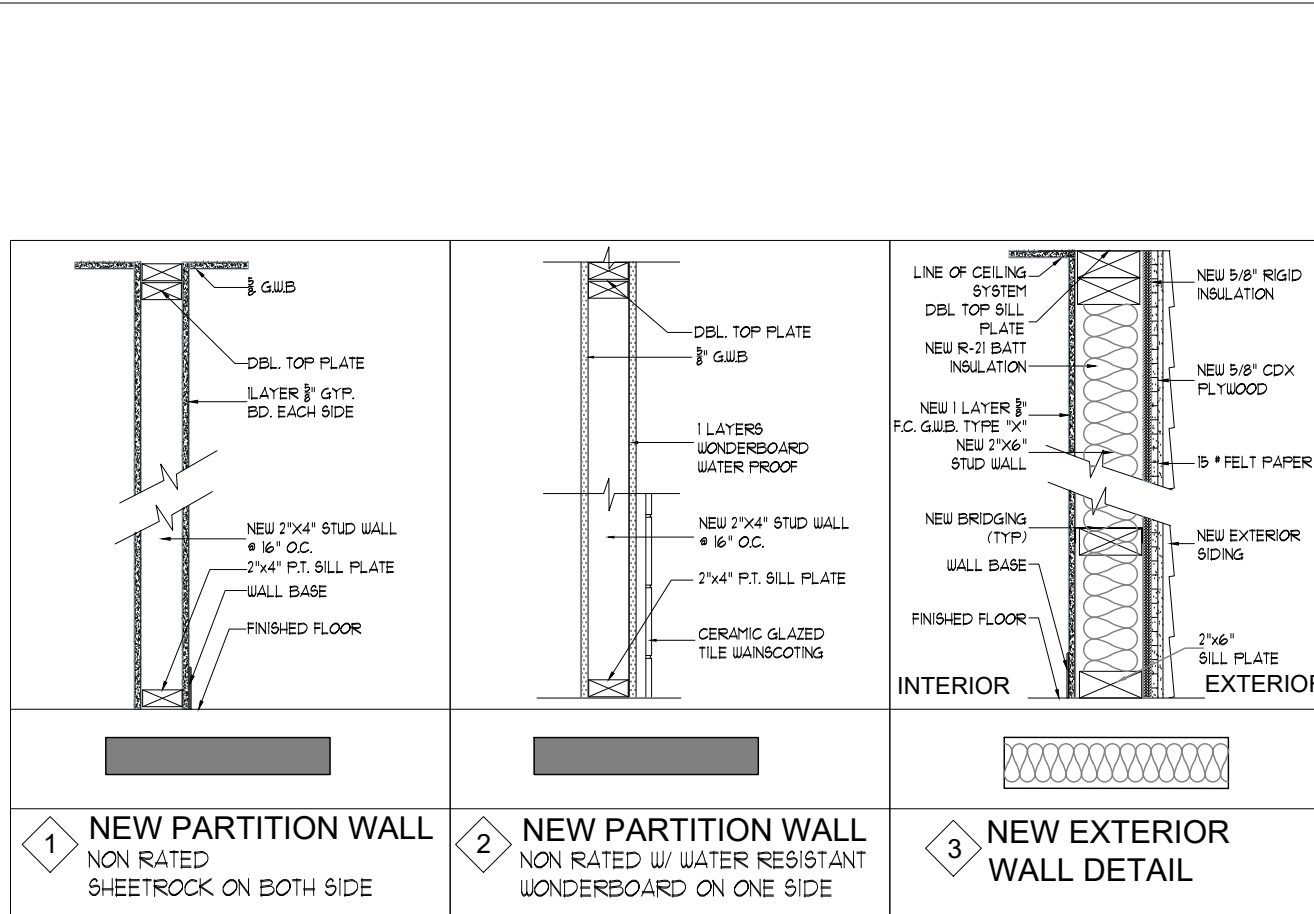
PROPOSED BASEMENT PLAN  
1/4"=1'-0"

| (A)                                                  | (B)                                           | (C)                                          | (D)                                          | (D)                                         |
|------------------------------------------------------|-----------------------------------------------|----------------------------------------------|----------------------------------------------|---------------------------------------------|
| 3'-1 15/16" x 4'-11 13/16" EGRESS DOUBLE HUNG WINDOW | 2'-5 15/16" x 3'-11 13/16" DOUBLE HUNG WINDOW | 2'-1 15/16" x 4'-1 13/16" DOUBLE HUNG WINDOW | 2'-1 15/16" x 3'-3 13/16" DOUBLE HUNG WINDOW | 4'-4 15/16" x 5'-11 13/16" SPECIALTY WINDOW |
| 2 - 2" x 10" HDR                                     | 2 - 2" x 10" HDR                              | 2 - 2" x 10" HDR                             | 2 - 2" x 10" HDR                             | 2 - 2" x 10" HDR                            |
|                                                      |                                               |                                              |                                              |                                             |
| 1ST FL.: 2 un.<br>2ND FL.: 2 un.                     | 1ST FL.: 2 un.<br>2ND FL.: 6 un.              | 1ST FL.: 1 un.<br>2ND FL.: 2 un.             | 1ST FL.: 3 un.                               | 2ND FL.: 1 un.                              |

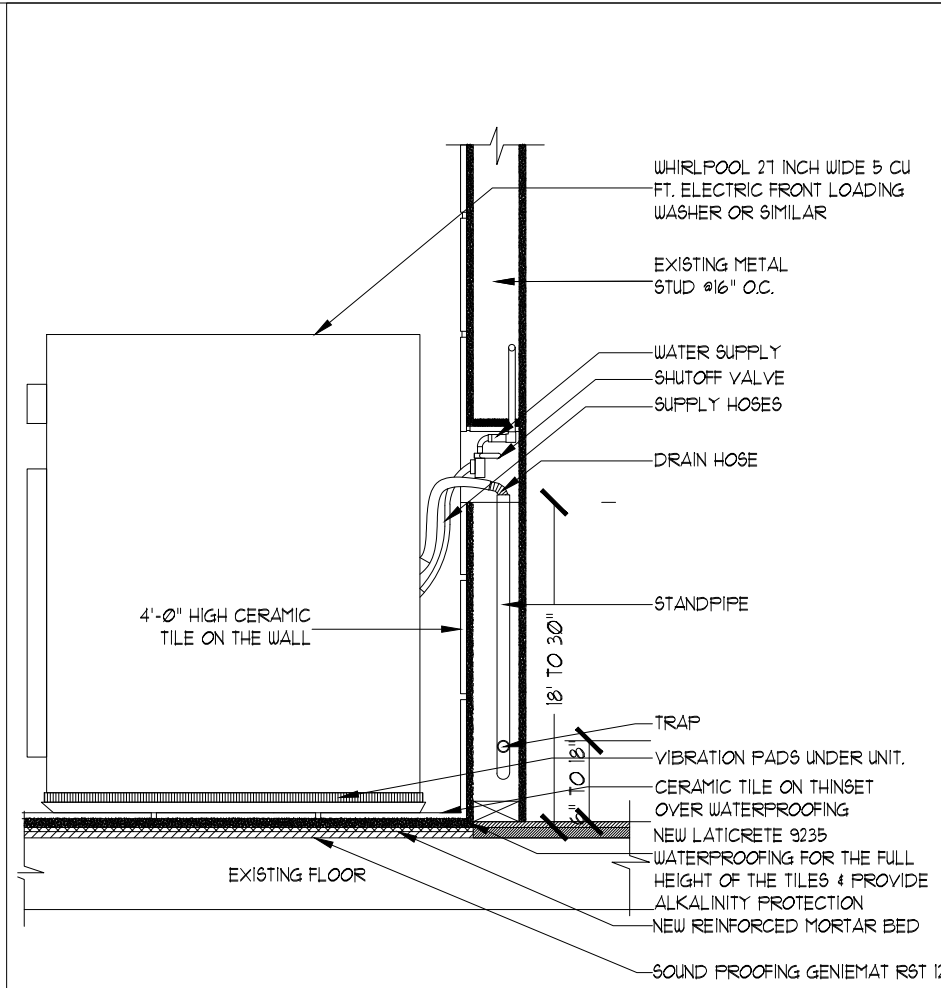
NOTE: ALL WINDOWS ARE ANDERSEN A-SERIES OR SIMILAR

| WINDOWS                              |                       |                   | DOORS                                                                                                           |                   |
|--------------------------------------|-----------------------|-------------------|-----------------------------------------------------------------------------------------------------------------|-------------------|
| CLIMATE ZONE                         | U-FACTOR <sup>1</sup> | SHGC <sup>2</sup> | U-FACTOR <sup>1</sup>                                                                                           | SHGC <sup>2</sup> |
| NORTH-CENTRAL                        | 0.27                  | 0.40              | 0.27                                                                                                            | 0.40              |
| AIR LEAKAGE ≤0.3 CMF/FT <sup>2</sup> |                       |                   | AIR LEAKAGE FOR SLIDING DOORS 0.3 CMF/FT <sup>2</sup><br>AIR LEAKAGE FOR SWINGING DOORS 0.5 CMF/FT <sup>2</sup> |                   |

WINDOW SCHEDULE  
N.T.S.



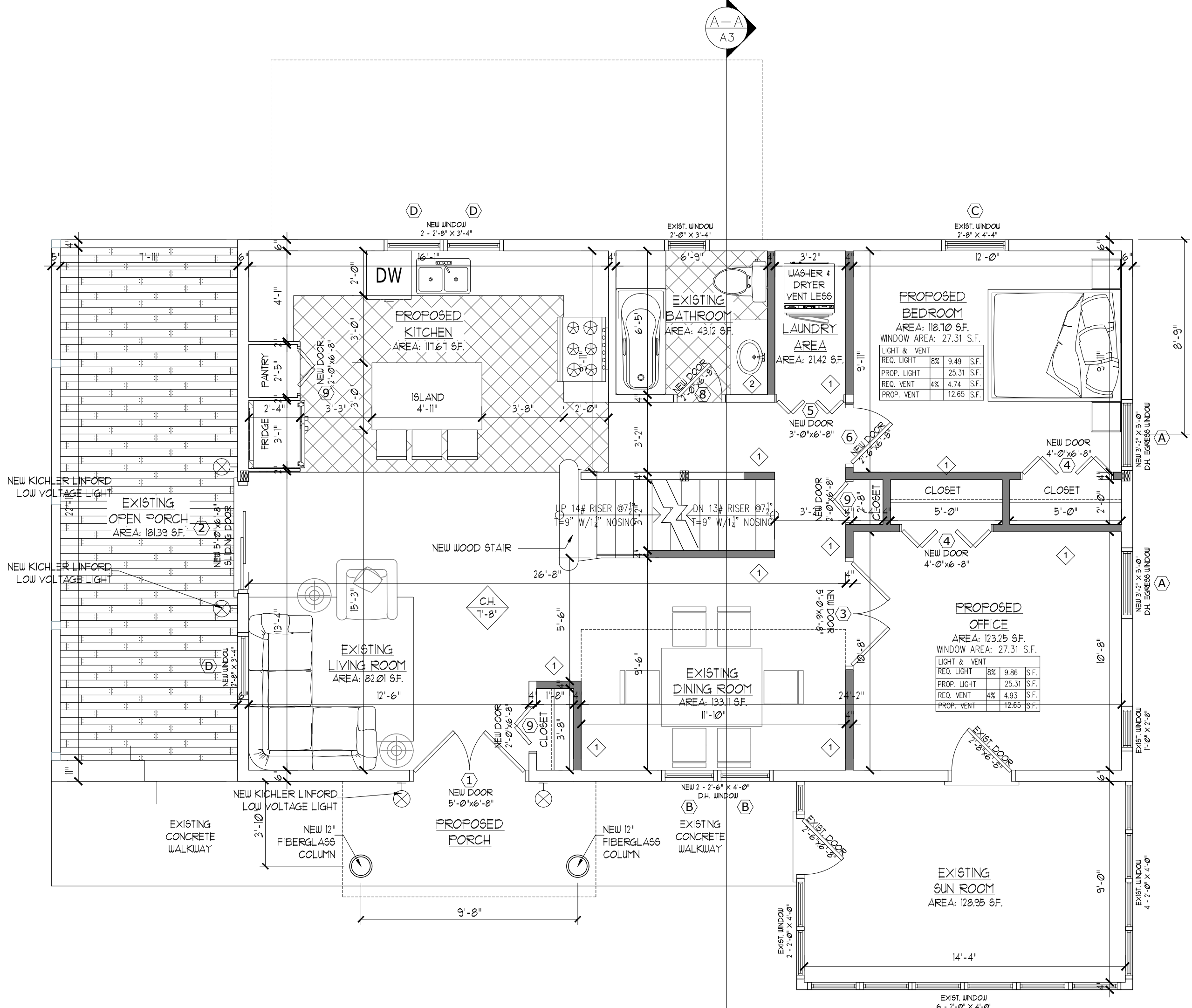
WALL SCHEDULE  
N.T.S.



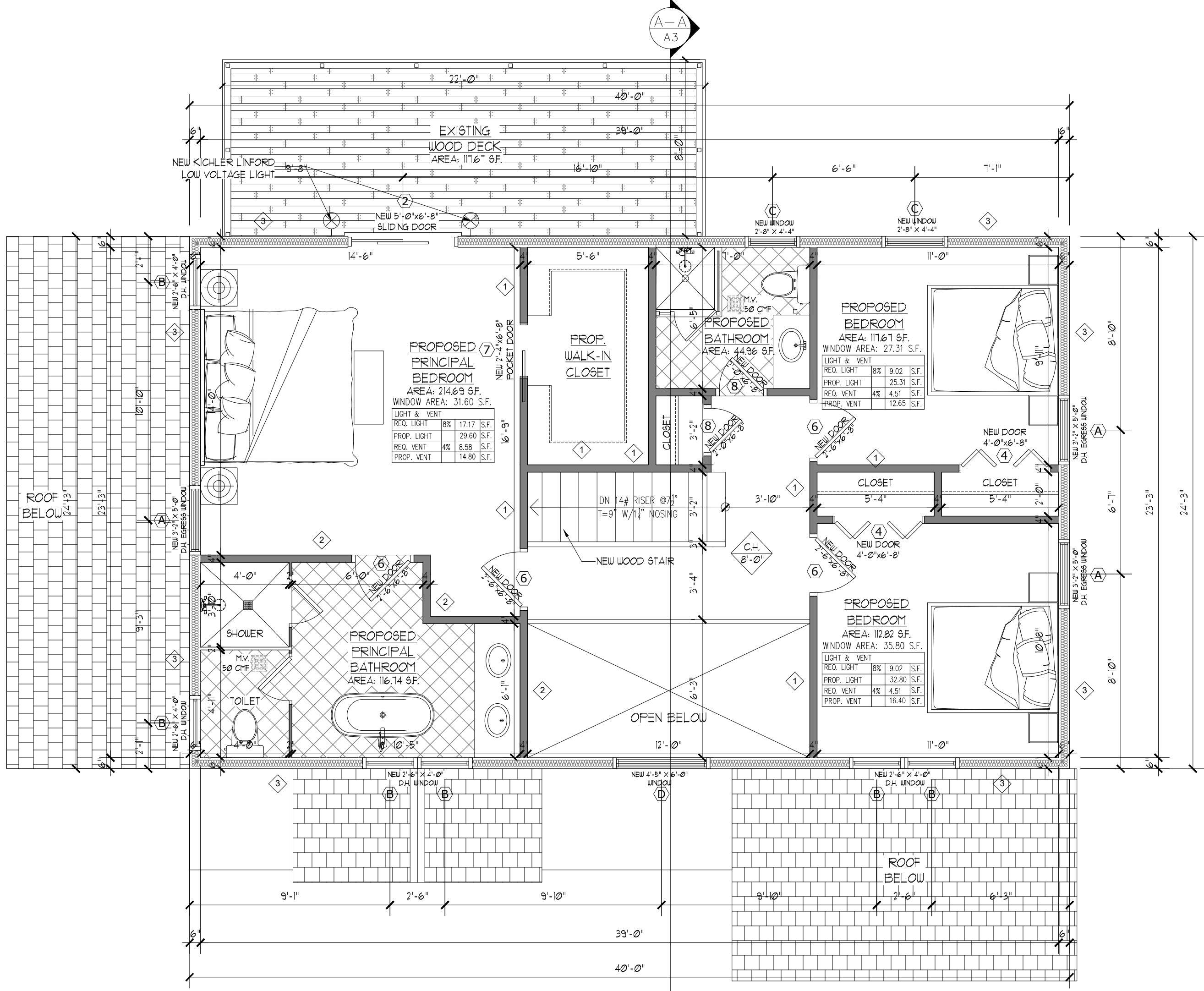
WASHER DETAILS  
1/4"=1'-0"

| ①                        | ②                              | ③                        | ④                              | ⑤                        | ⑥                              | ⑦                        | ⑧                              | ⑨                        |
|--------------------------|--------------------------------|--------------------------|--------------------------------|--------------------------|--------------------------------|--------------------------|--------------------------------|--------------------------|
| 2 - 1 3/4" x 11 7/8" LVL | 2 - 1 3/4" x 11 7/8" LVL       | 2 - 1 3/4" x 11 7/8" LVL | 2 - 1 3/4" x 11 7/8" LVL       | 2 - 1 3/4" x 11 7/8" LVL | 2 - 1 3/4" x 11 7/8" LVL       | 2 - 1 3/4" x 11 7/8" LVL | 2 - 1 3/4" x 11 7/8" LVL       | 2 - 1 3/4" x 11 7/8" LVL |
|                          |                                |                          |                                |                          |                                |                          |                                |                          |
| 1ST FL.: 1un.            | 1ST FL.: 1un.<br>2ND FL.: 1un. | 1ST FL.: 1un.            | 1ST FL.: 2un.<br>2ND FL.: 2un. | 1ST FL.: 1un.            | 1ST FL.: 1un.<br>2ND FL.: 4un. | 2ND FL.: 1un.            | 1ST FL.: 1un.<br>2ND FL.: 2un. | 1ST FL.: 2un.            |

DOOR SCHEDULE  
N.T.S.



PROPOSED 1ST FL PLAN  
1/4"=1'-0"



PROPOSED 2ND FL PLAN  
1/4"=1'-0"

ZONING DATA

63 OLD ALBANY POST RD,  
OSSINING, NY 10562

SECTION: 80.14 BLOCK: 1  
LOT: 14 ZONE: R-7.5

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING AREA TO BE REMOVED
- NEW 2"x4" STUD WALL @ 16" O.C.
- NEW 2"x6" STUD WALL @ 16" O.C. W/ NEW R-21 BATT INSULATION AND VINYL SIDING ON EXTERIOR FINISH
- S.D. SMOKE DETECTOR
- C.M. CARBON MONOXIDE
- M.V. 50 CMF MECHANICAL VENTILATION
- F.E. FIRE EXTINGUISHER
- HD. HEAT DETECTOR

BECALL  
ENGINEERING SERVICES

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OWNER

MEM FLIPP CORP / MANUEL HERNANDEZ

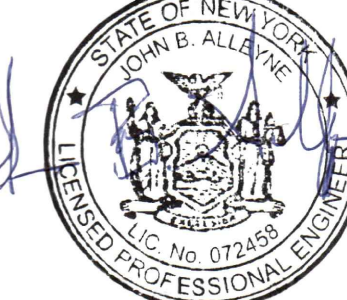
PROJECT

PROPOSED INTERIOR RENOVATION & 2ND  
FL ADDITION OF EXISTING ONE FAMILY  
HOUSE

DRAWING LIST

PROPOSED 1ST FL PLAN  
PROPOSED 2ND FL PLAN  
DOOR, WALL, WINDOW SCHEDULE

SEAL & SIGNATURE



REGISTERED THROUGH DATE  
SEPTEMBER 30, 2026

PROJECT No: 2025-057

DATE: 4/4/2025  
DRAWING BY: AV  
CRD BY: J.A.  
DWG No:  
A-004.00

CAD FILE No: 4 of 10

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ZONING DATA

63 OLD ALBANY POST RD,  
OSSINING, NY 10562

SECTION: 80.14 BLOCK: 1  
LOT: 14 ZONE: R-7.5

LEGEND

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PROJECT

PROPOSED INTERIOR RENOVATION & 2ND  
FL ADDITION OF EXISTING ONE FAMILY  
HOUSE

DRAWING LIST

PROPOSED ELEVATIONS

SEAL & SIGNATURE



REGISTERED THROUGH DATE  
SEPTEMBER 30, 2026

PROJECT No: 2025-057

DATE: 4/4/2025

DRAWING BY: AV

CKD BY: J.A.

DWG No:

A-005.00

CAD FILE No:

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PROPOSED RIGHT SIDE ELEVATION

1/4"=1'-0"

PROPOSED REAR ELEVATION

1/4"=1'-0"

PROPOSED LEFT SIDE ELEVATION

1/4"=1'-0"

PROPOSED FRONT ELEVATION

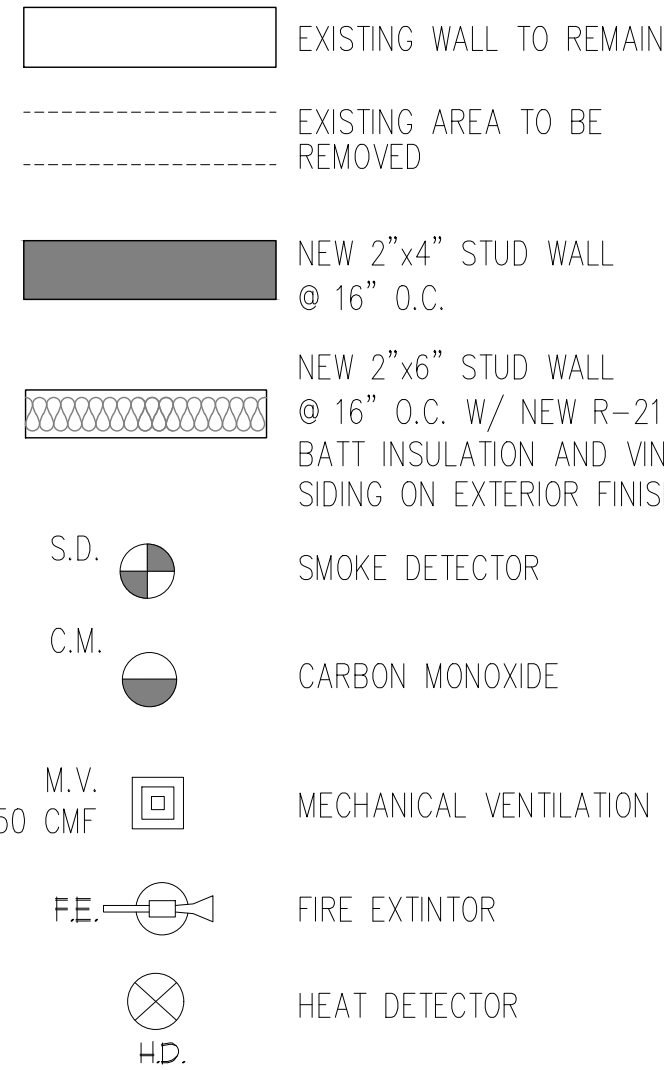
1/4"=1'-0"



63 OLD ALBANY POST RD  
OSSINING, NY 10562

SECTION: 80.14      BLOCK: 1  
LOT: 14              ZONE: R-7.5

LEGEND



**B E C A L L**  
ENGINEERING SERVICES

**158 DRAKE AVENUE - SUITE # 12**  
**NEW ROCHELLE - NEW YORK 10801**  
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 914 473 1408

## OWNER

MEM FLIPP CORP / MANUEL HERNANDEZ

## PROJECT

# PROPOSED INTERIOR RENOVATION & 2ND FL ADDITION OF EXISTING ONE FAMILY HOUSE

## DRAWING LIST

SECTION  
STAIR DETAILS  
PRINCIPAL BATHROOM DETAILS



REGISTERED THROUGH DATE  
SEPTEMBER 30, 2026

PROJECT No: 2025-05

DATE: 4/4/2025

DRAWING BY: AV

CKD BY: J.A

DWG No:  
A-006.00

CAD FILE No.

6 of 10

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MERCER 20" 1 LIGHT WALL - LIGHT CLEAR SEEDED GLASS BLACK

SPECIFICATIONS

| Certifications/Qualifications                   |              |
|-------------------------------------------------|--------------|
| www.kichler.com/warranty                        |              |
| Dimensions                                      |              |
| Base Backplate                                  | 5.50 X 18.75 |
| Extension                                       | 10.50"       |
| Weight                                          | 11.06 LBS    |
| Height from center of Wall opening (Spec Sheet) | 2.40"        |
| Height                                          | 18.75"       |
| Width                                           | 9.00"        |
| Light Source                                    |              |
| Lamp Included                                   | Not Included |
| Lamp Type                                       | A21          |
| Light Source                                    | Incandescent |
| Max or Nominal Watt                             | 150.00       |
| # of Bulbs/LED Modules                          | 1            |
| Max Wattage/Range                               | 150.00       |
| Socket Type                                     | Medium       |
| Socket Wire                                     | 150"         |
| Mounting/Installation                           |              |
| Interior/Exterior                               | Exterior     |
| Location Rating                                 | Wet          |
| Mounting Style                                  | Wall Mount   |
| Mounting Weight                                 | 8.73 LBS     |



FIXTURE ATTRIBUTES

| Housing                      |                              |
|------------------------------|------------------------------|
| Diffuser Description         | Clear Seeded                 |
| Primary Material             | EPM                          |
| Product/Ordering Information |                              |
| SKU                          | 59062BSL                     |
| Finish                       | Black with Silver Highlights |
| Finish Code                  | BSL                          |
| Style                        | Transitional                 |
| UPC                          | 783927801393                 |
| Finish Options               |                              |
| Black with Silver Highlights |                              |
| Olde Bronze                  |                              |

ALSO IN THIS FAMILY



PENDANT LIGHT SPECIFICATIONS  
N.T.S.

75-WATT EQUIVALENT 13-WATT, MATTE WHITE DIMMABLE  
RECESSED INTEGRATED LED DOWNLIGHT TRIM



Dimensions

|                             |        |                       |        |
|-----------------------------|--------|-----------------------|--------|
| Actual Aperture Width (in.) | 4 in   | Assembled Depth (in.) | 5.7 in |
| Assembled Height (in.)      | 2.5 in | Assembled Width (in.) | 5.7 in |
| Housing Height (in.)        | 4 in   | Trim Size (Width)     | 4 in.  |

Details

|                              |                    |                        |                  |
|------------------------------|--------------------|------------------------|------------------|
| Actual Color Temperature (K) | 5000               | Color Family           | White            |
| Color Rendering Index (CRI)  | 90                 | Color Temperature      | Daylight         |
| Compatible Bulb Type         | Integrated LED     | Damp/Wet Rating        | Damp Rated       |
| Features                     | Dimmable, Retrofit | Fixture Color/Finish   | matte            |
| Fixture Material             | Metal              | IC Rating              | IC Rated         |
| Indoor/Outdoor               | Indoor             | Integrated LED Type    | Standard         |
| Lumens                       | 800                | Maximum Bulb Wattage   | 13 W             |
| New Construction or Remodel  | New Construction   | Package Quantity       | 1                |
| Product Weight (lb.)         | 0.33 lb            | Recessed Lighting Type | Housing Required |
| Returnable                   | 90-Day             | Trim Type              | Surface Mount    |
| Voltage                      | Line Voltage       | Watt Equivalence       | 75               |

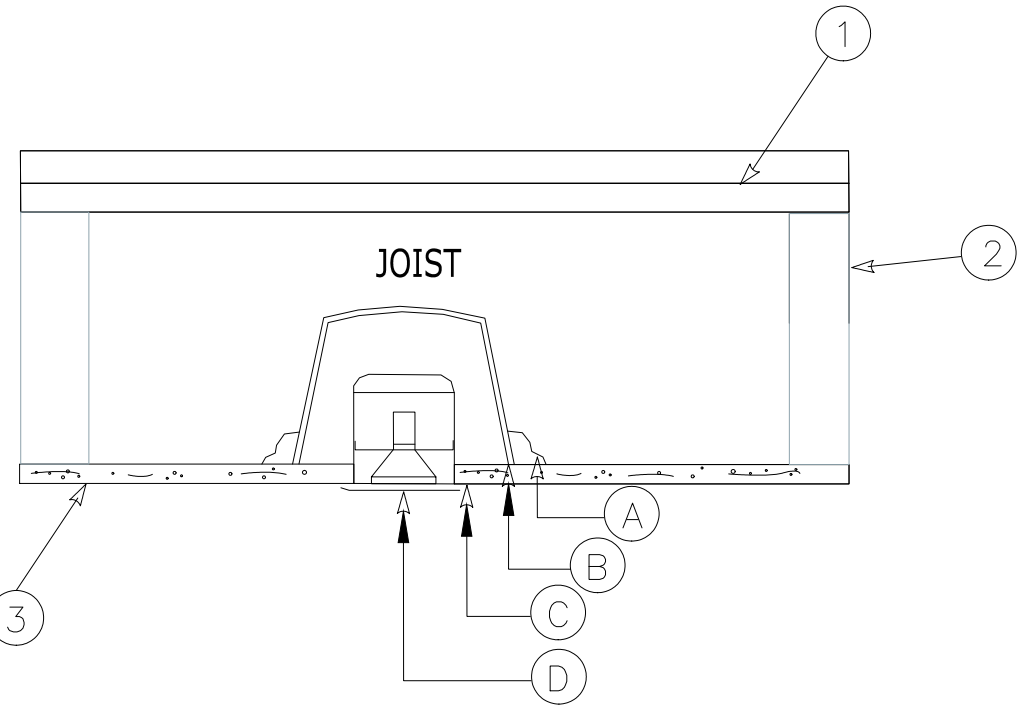
RECESSED DOWNLIGHTING SPECIFICATIONS  
N.T.S.

ELECTRICAL NOTES

- PROVIDE AND INSTALL ALL ELECTRICAL WORK REQUIRED.
  - ALL WORK SHALL CONFORM WITH THE 2011 NATIONAL ELECTRICAL CODE, LOCAL UTILITY COMPANY, AND ALL CODES AND THE REQUIREMENTS OF AGENCIES HAVING JURISDICTION. THE CONTRACTOR IS RESPONSIBLE FOR THE PROCUREMENT OF ALL INSPECTION CERTIFICATES.
  - PROVIDE A COPY OF THE UNDERWRITERS CERTIFICATES TO THE OWNER UPON COMPLETION OF THE WORK. FIXTURE ELECTION SHALL BE BY THE OWNER. ALL ELECTRICAL WORK SHALL BE PERFORMED BY AN ELECTRICIAN LICENSED TO DO WORK IN TOWN OF OSSINING.
- ELECTRICAL CONTRACTOR IS TO PROVIDE OUTLETS SPACED AS PER CODE REQUIREMENTS, INCLUDING ALL G.F.I. OUTLETS.
- ALL OUTLETS TO BE DECORATE COLOR WHITE.
- ALL WALL SWITCHES TO BE DIMMER CONTROLLED.
- ALL BATH FANS ON SEPARATE CIRCUIT.
- PROVIDE ALL NECESSARY CONTROL AND POWER WIRING FOR ALL H.V.A.C, PLUMBING EQUIPMENT, INSTALL CARBON AND SMOKE DETECTORS.
- THE CONTRACTOR SHALL BE VERIFY THE INCOMING ELECTRICAL SERVICE IS SUFFICIENT FOR NEW INTERIOR RENOVATION OF EXISTING HOUSE.
- NOTE: PROVIDE APPLIANCE (DEDICATED CIRCUIT) OUTLETS FOR ALL KITCHEN APPLIANCES INCLUDING MICRO & TOASTER

ELECTRICAL SYMBOLS

|  |                                            |
|--|--------------------------------------------|
|  | PHONE OUTLET                               |
|  | 220 V. RECEPTACLE                          |
|  | WATER PROTECTED RECEPTACLE GFI/C           |
|  | DUPLEX RECEPTACLE                          |
|  | COUNTER TOP RECEPTACLE (ARC-FAULT CIRCUIT) |
|  | SINGLE POLE SWITCH                         |
|  | THREE WAY SWITCH                           |
|  | T.V. RECEPTOR                              |
|  | DOOR BELL                                  |
|  | THERMOSTAT                                 |
|  | CEILING PULL SWITCH                        |
|  | PENDANT LIGHT                              |
|  | CEILING FIXTURE - RECESSED                 |
|  | WALL FIXTURE                               |
|  | VENT/LIGHT                                 |
|  | HEAT/VENT/LIGHT                            |
|  | FLUORESCENT FIXTURES                       |
|  | ELECTRIC PANEL                             |
|  | EXTERIOR FIXTURES W/ MOTION SENSORS        |



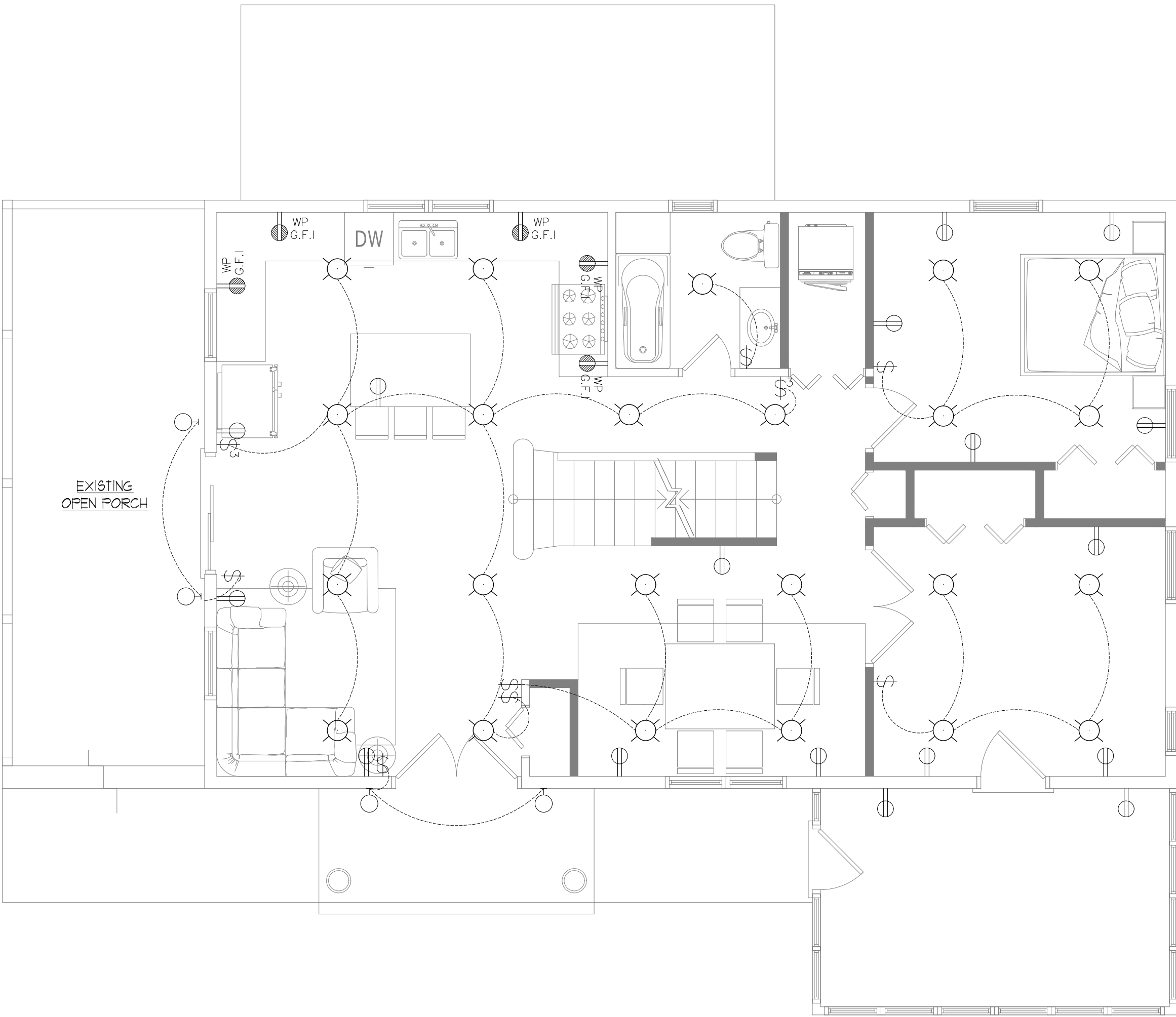
I. FLOOR/CEILING ASSEMBLY:

- A. FLOORING SYSTEM: 5/8" THICK PLYWOOD CONTINUOUS WOOD DECKING.
- B. WOOD JOIST: NOM. 2" X 12" LUMBER JOIST.
- C. CEILING SYSTEM: 1 LAYER of 1/8" GYPSUM WALLBOARD, PER UL 501 DESIGN.

I. RECESSED LIGHTING:

- A. EXPANDING FOAM SEALANT AT PERIMETER
- B. CONTINUOUS BEAD OF SEALANT
- C. DRYWALL CEILING 3/8" FC GWB 1 Hr RATED TYPE "X".
- D. RECESSED LIGHTING FIXTURE

RECESSED DOWNLIGHTING DETAIL  
N.T.S.



PROPOSED 1ST FL ELECTRICAL PLAN  
1/4"=1'-0"



PROPOSED 2ND FL ELECTRICAL PLAN  
1/4"=1'-0"

ZONING DATA

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LOT: 14 ZONE: R-7.5

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PROJECT

PROPOSED INTERIOR RENOVATION & 2ND  
FL ADDITION OF EXISTING ONE FAMILY  
HOUSE

DRAWING LIST

PROPOSED 1ST FL ELECTRICAL PLAN  
PROPOSED 2ND FL ELECTRICAL PLAN

SEAL & SIGNATURE



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CKD BY: J.A.

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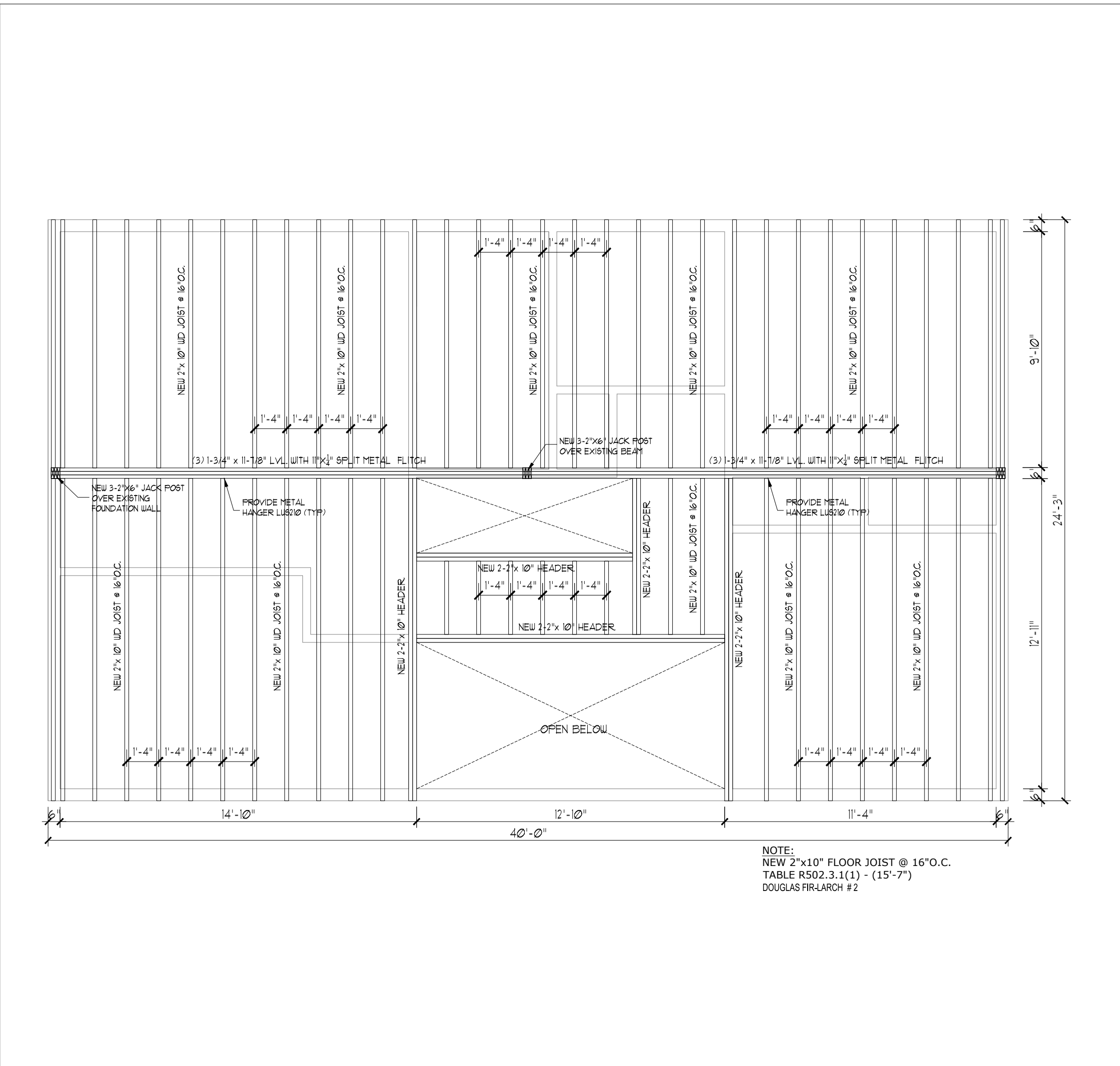
CAD FILE No:

7 of 10

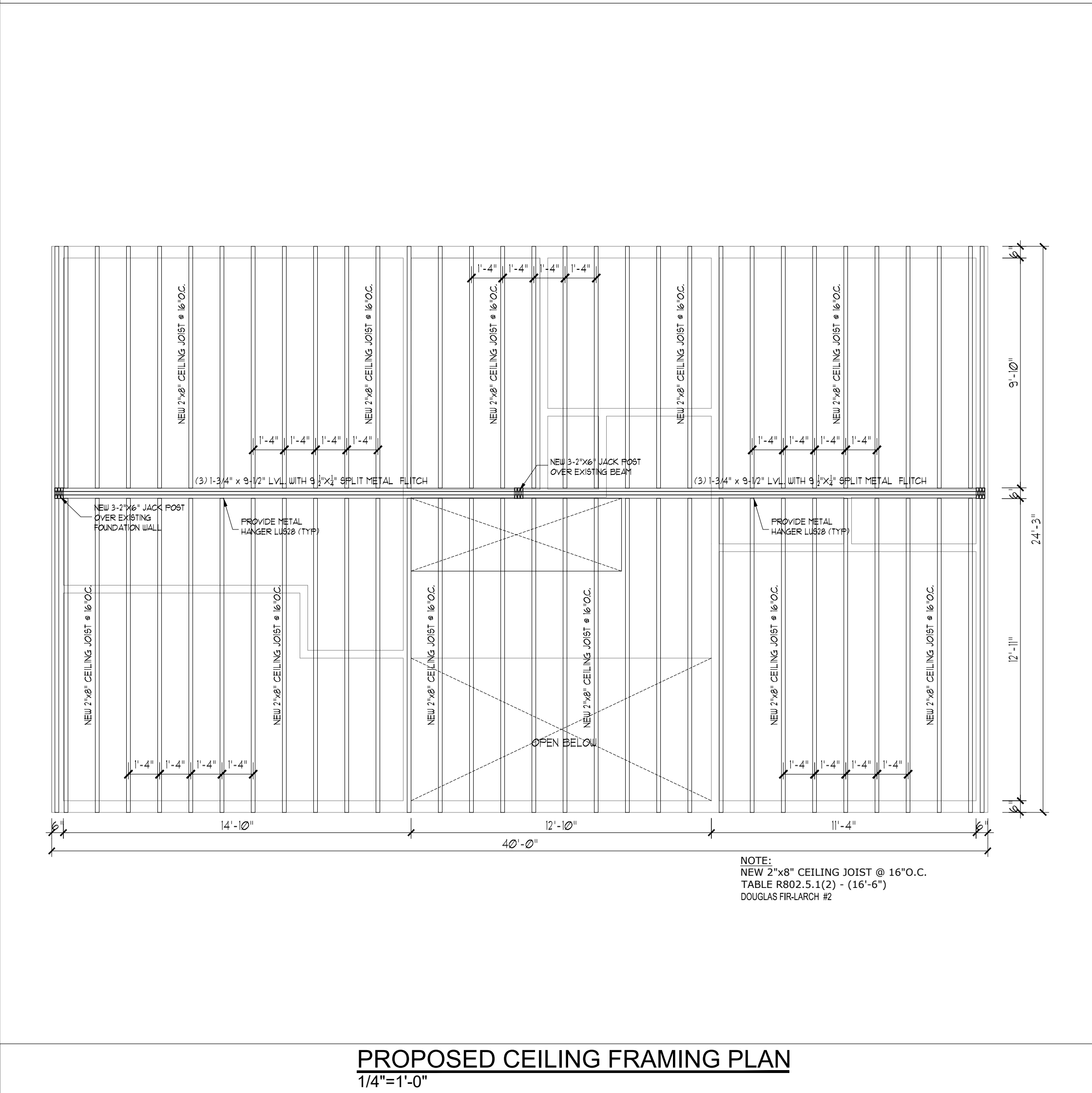
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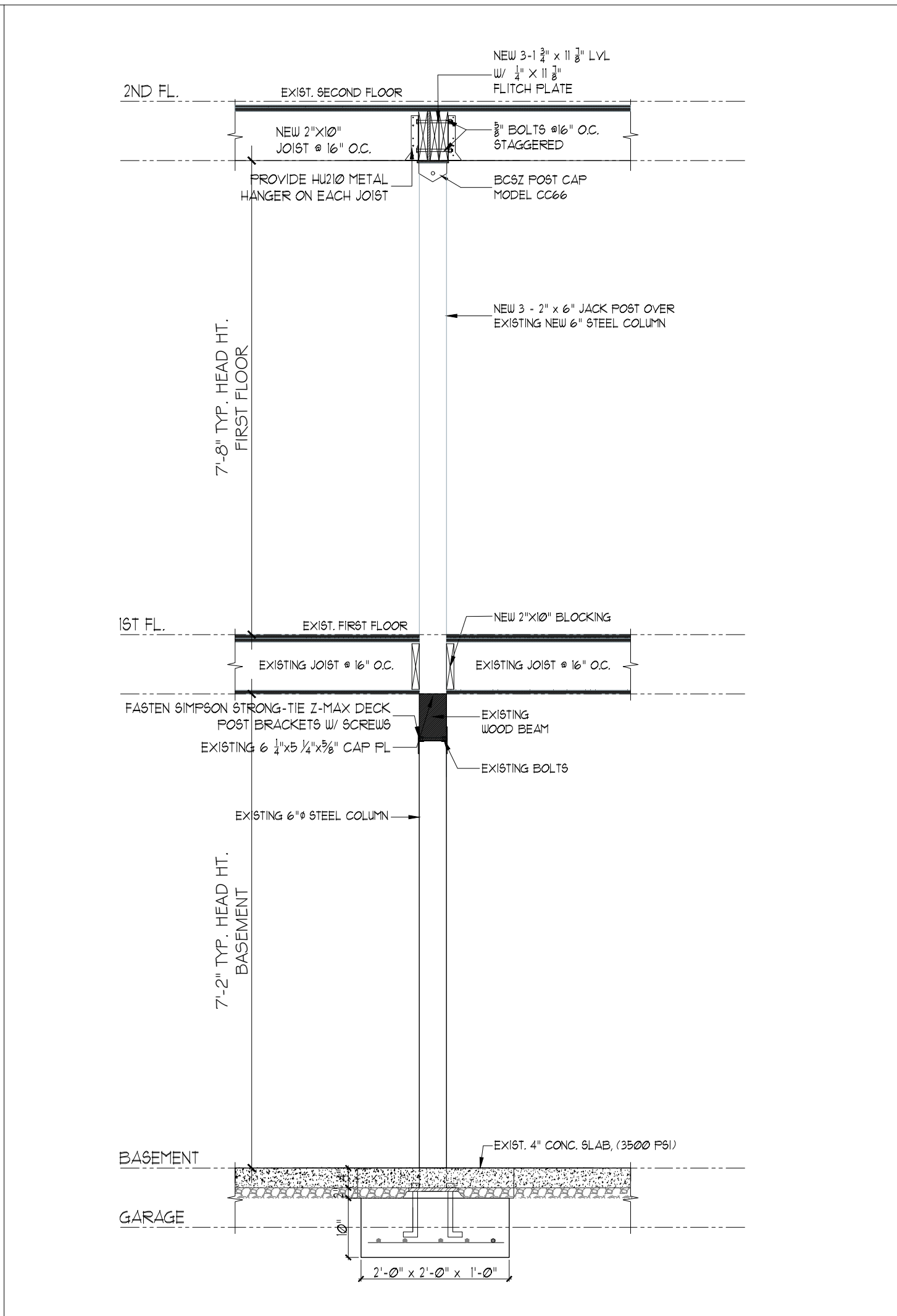
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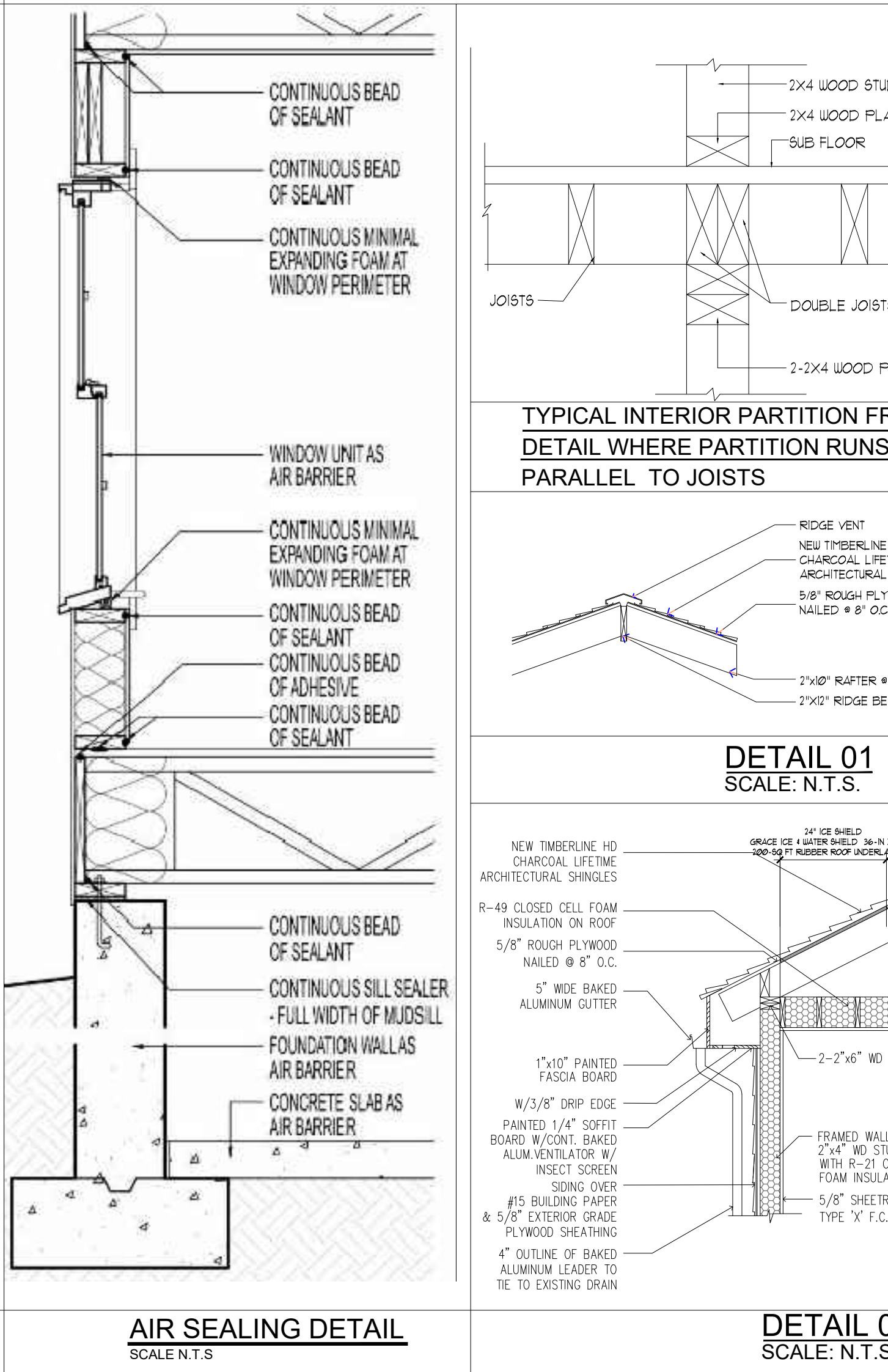
PROPOSED 2ND FL FRAMING PLAN  
1/4"=1'-0"



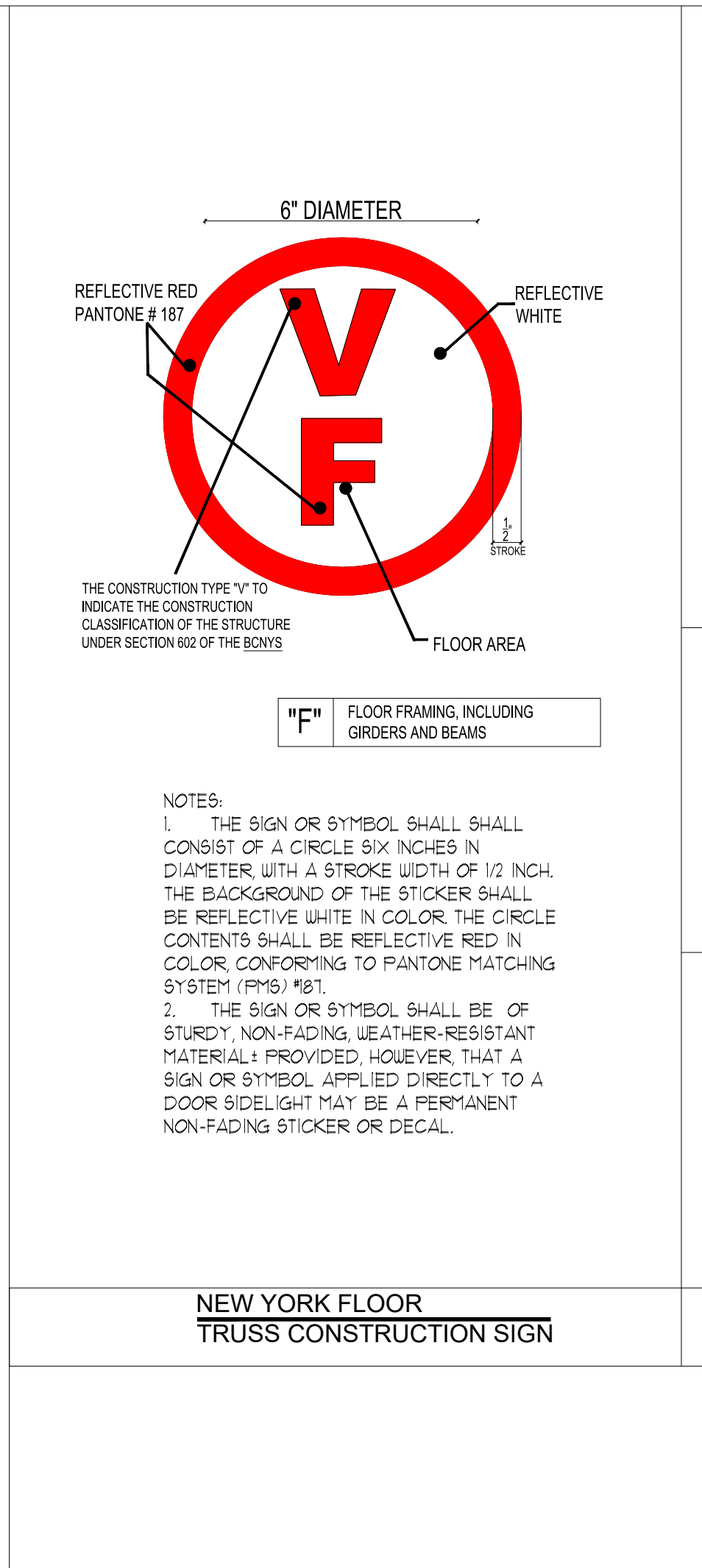
PROPOSED CEILING FRAMING PLAN  
1/4"=1'-0"



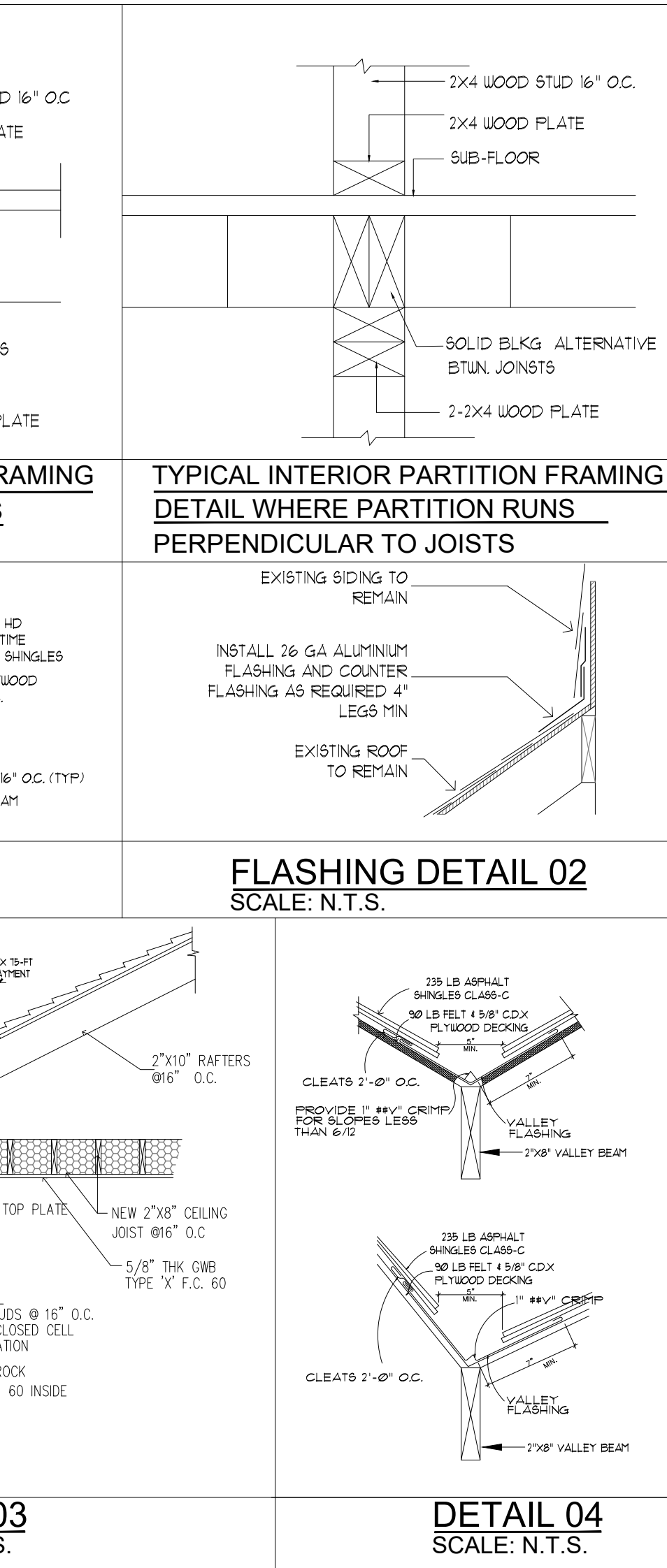
LVL SECTION  
1/2"=1'-0"



AIR SEALING DETAIL  
SCALE: N.T.S.

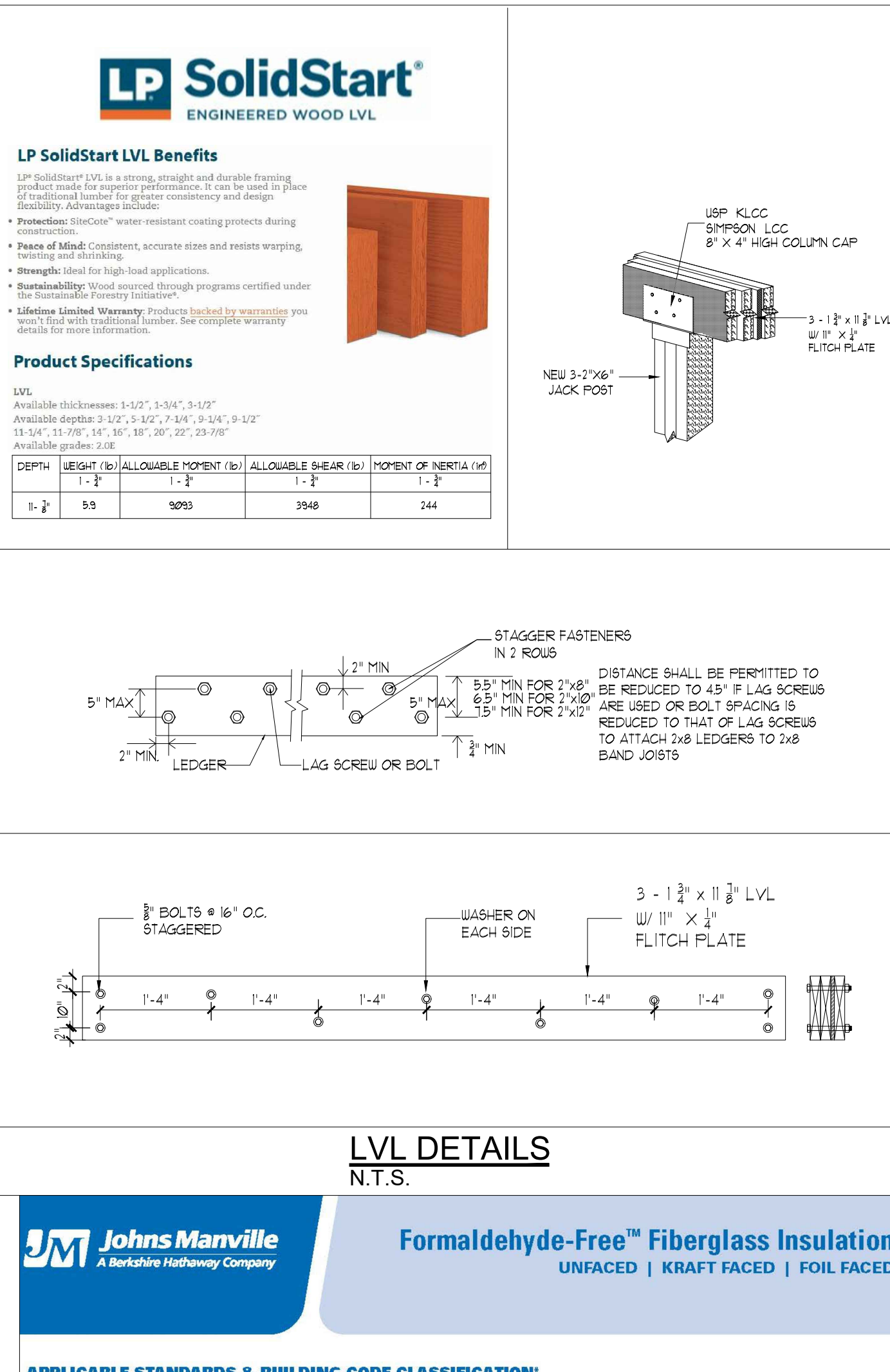


NEW YORK FLOOR  
TRUSS CONSTRUCTION SIGN

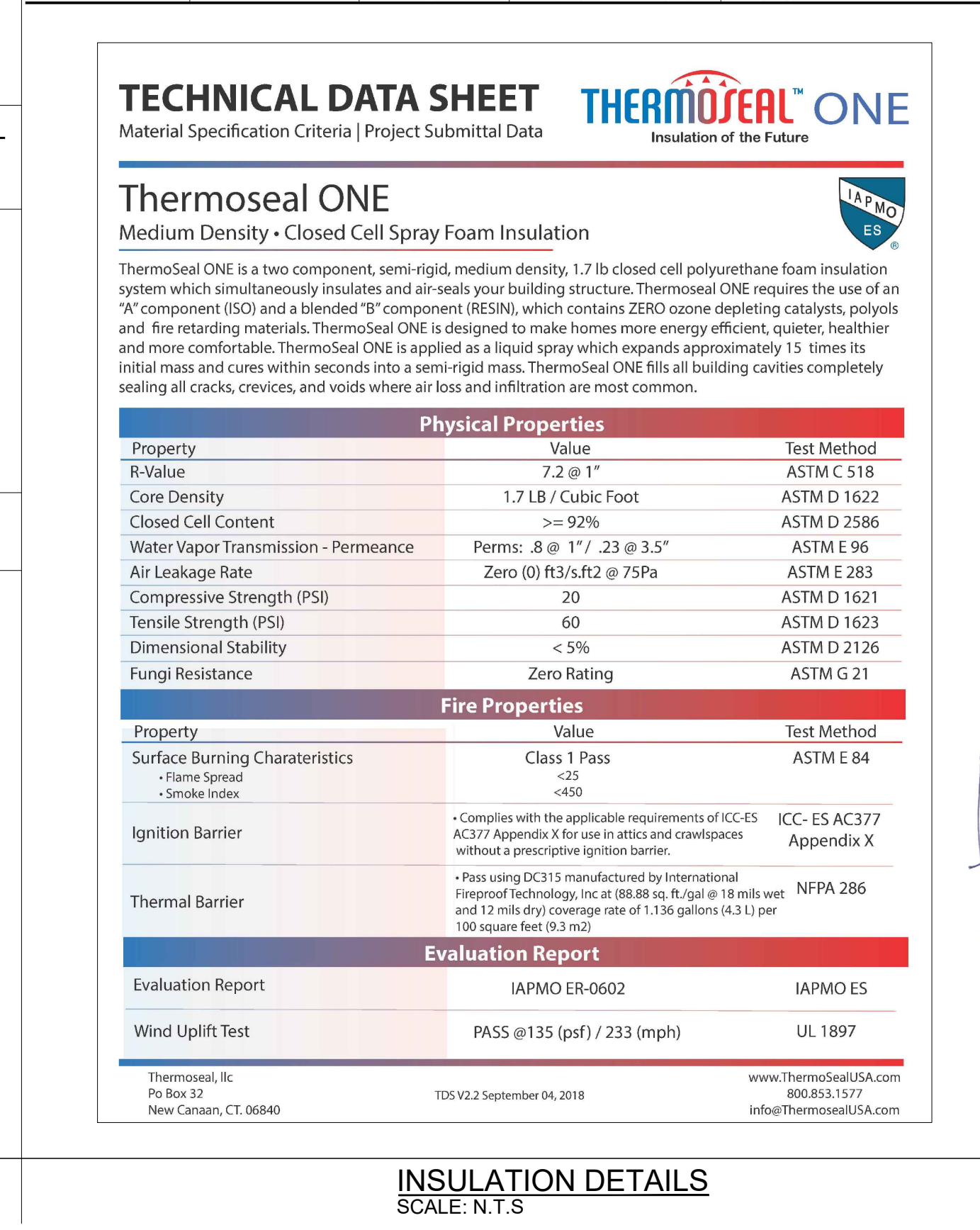
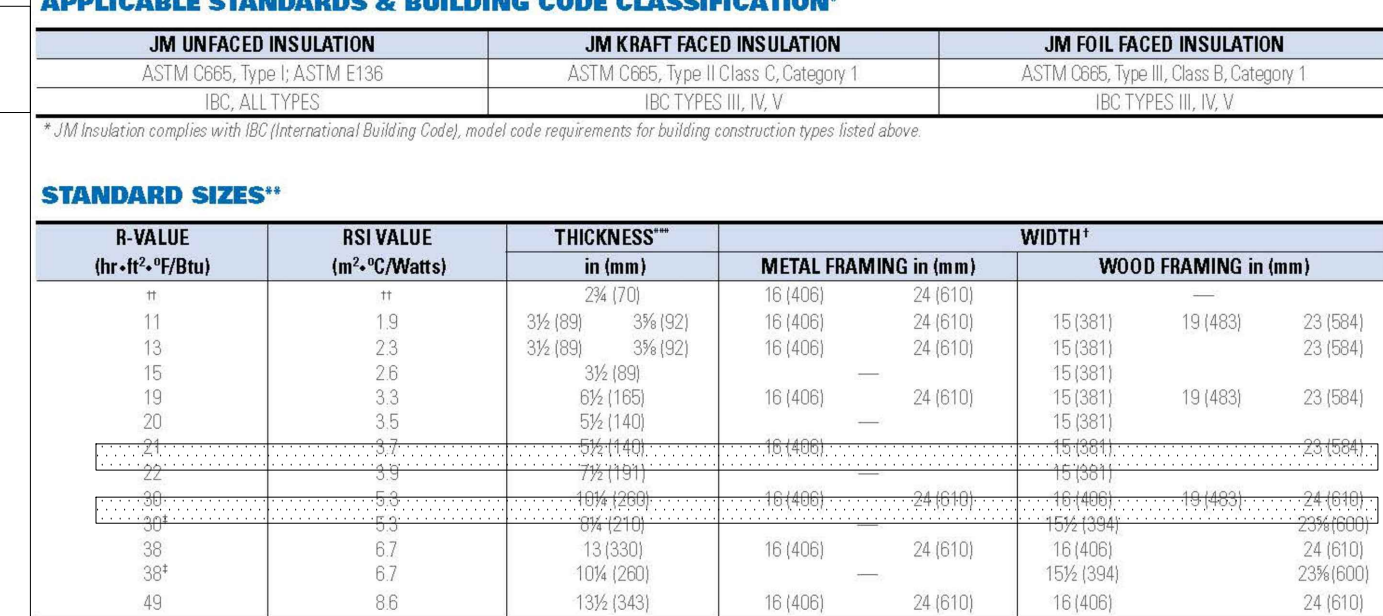


DETAIL 03  
SCALE: N.T.S.

DETAIL 04  
SCALE: N.T.S.



LVL DETAILS  
N.T.S.



INSULATION DETAILS  
SCALE: N.T.S.

ZONING DATA

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OSSINING, NY 10562

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PROJECT  
PROPOSED INTERIOR RENOVATION & 2ND FL ADDITION OF EXISTING ONE FAMILY HOUSE

DRAWING LIST  
PROPOSED 2ND FL FRAMING PLAN  
PROPOSED CEILING FRAMING PLAN  
PROPOSED ROOF FRAMING PLAN  
PROPOSED ROOF PLAN

REGISTERED THROUGH DATE  
SEPTEMBER 30, 2026

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PROJECT No: 2025-057  
DATE: 4/4/2025  
DRAWING BY: AV  
CKD BY: J.A.  
DWG No: S-001.00

8 of 10

ROOF & CEILINGS NOTES

1. THE ROOF SHALL BE DESIGNED TO SUSTAIN DEAD LOADS PLUS LIVE LOADS. SEC.801.2.
- ROOF AND CEILING CONSTRUCTION SHALL BE CAPABLE OF ACCOMMODATING ALL LOADS IMPOSED ACCORDING TO SECTION R301 AND OF TRANSMITTING THE RESULTING LOADS TO THE SUPPORTING STRUCTURAL ELEMENTS THE GROUND SNOW LOAD IS 25 PSF.
2. ROOF SHALL BE DESIGN FOR A WIND LOAD OF 90MPH OR AS PERSCRIBED BY YOUR LOCAL CODE.
- PROVIDE A CONTINUOUS UPLIFT PATH FROM THE FOUNDATION TO THE ROOF. THIS INCLUDED:

NAILING PATTERN TO TIE WALL SHEATHING TO FOUNDATION PLATE, PROVIDE ADEQUATE CONNECTIONS FOR BEAMS TO COLUMNS THUS HAVING A GOOD LATERAL FORCE RESISTING SYSTEM, ADDITIONAL NAILING FOR GABLE END TRUSSES AT ROOF SHEATHING AND END WALL JOINTS, PROVIDING POSITIVE CONNECTION. NOTE: TOE-NAILING RAFTERS OR TRUSSES TO WALLS IS NOT ADEQUATE.

3. ALL TRUSSES ARE REQUIRED TO BE DESIGNED AND STAMPED BY AN REGISTERED ENGINEER. PROVIDE TRUSS ENGINEERING AS REQUIRED BY BUILDING OFFICIAL AT THE JOB SITE PRIOR TO INSPECTIONS. TRUSSES SHALL NOT BE ALTERED WITHOUT A STAMPED DESIGN BY AN ARCHITECT OR ENGINEER. LATERAL BRACING NOTED ON THE TRUSS ENGINEERING MUST BE INSTALLED. SEC. 802.9

4. THE BOTTOM CHORD OF THE TRUSS IS REQUIRED TO BE DESIGNED TO SUPPORT A MINIMUM LIVE LOAD OF 20 PSF WHERE THE FOLLOWING THREE CONDITIONS EXISTS:

(1) THE DESIGN LIVE LOADS SHALL BE APPLIED TO PORTIONS OF THE BOTTOM CHORD THAT ARE CAPABLE OF CONTAINING A RECTANGLE 42" HIGH BY 2' WIDE, OR GREATER. LOCATED WITHIN THE PLANE OF THE TRUSS.

(2) THE RECTANGLE SHALL FIT BETWEEN THE TOP OF THE BOTTOM CHORD AND THE BOTTOM OF ANY

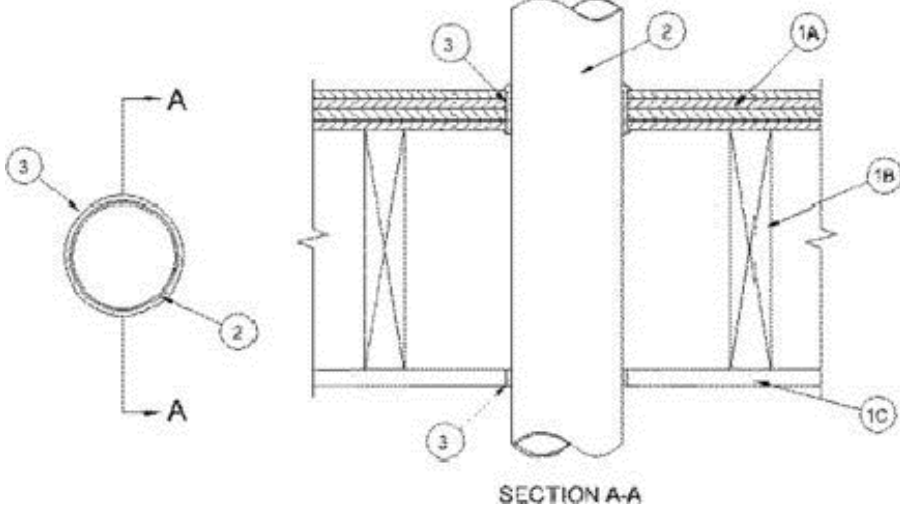
OTHER TRUSS MEMBER.

(A) THE ATTIC AREA IS ACCESSIBLE BY A PERMANENT STAIRWAY OR PULL-DOWN STAIRWAY; AND

(B) THE TRUSS HAS A BOTTOM CHORD PITCH LESS THAN 2:12 AND

(C) THERE ARE TWO OR MORE ADJACENT TRUSSES WITH THE SAME WEB CONFIGURATION.

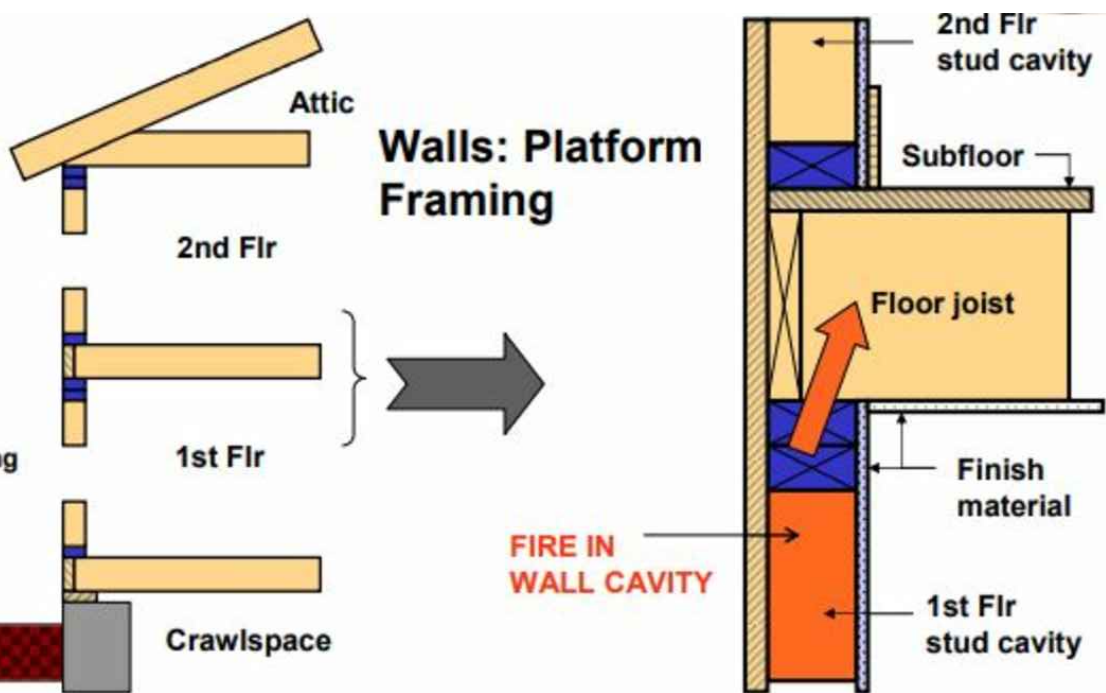
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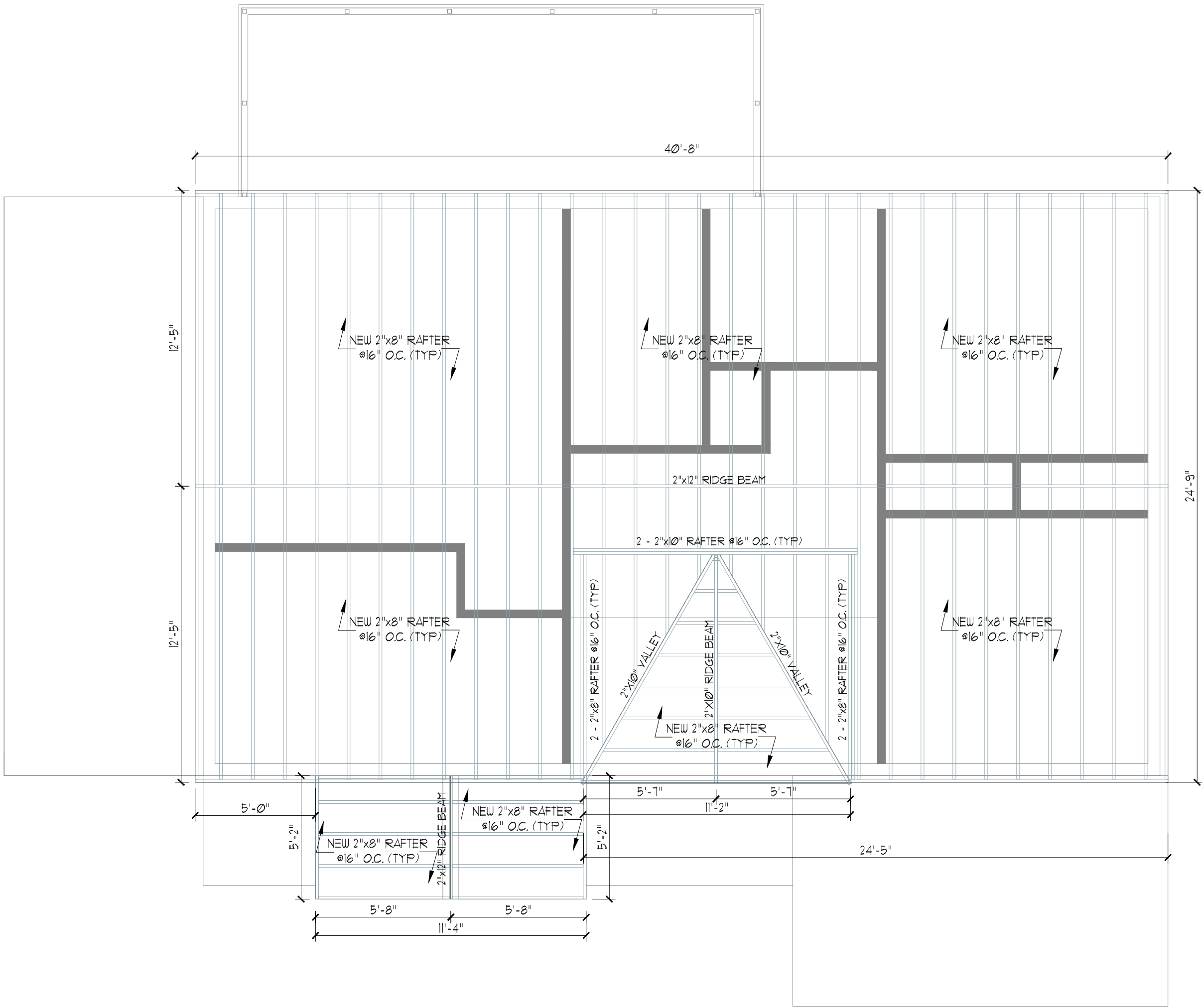
1. FLOOR-CEILING ASSEMBLY — THE 1 HR FIRE-RATED WOOD JOIST FLOOR-CEILING ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS AND IN THE MANNER SPECIFIED IN THE INDIVIDUAL L500 DESIGNS IN THE UL FIRE RESISTANCE DIRECTORY, AS SUMMARIZED BELOW.
- A. FLOORING SYSTEM — LUMBER OR PLYWOOD SUBFLOOR WITH FINISH FLOOR OF LUMBER, PLYWOOD OR FLOOR TOPPING MIXTURE\* AS SPECIFIED IN THE INDIVIDUAL FLOOR-CEILING DESIGN. MAX DIAM OF OPENING IS 5 IN. (127 MM)
- B. WOOD JOISTS — NOM 10 IN. (254 MM) DEEP (OR DEEPER) LUMBER, STEEL OR COMBINATION LUMBER AND STEEL JOISTS, TRUSSES OR STRUCTURAL WOOD MEMBERS\* WITH BRIDGING AS REQUIRED AND WITH ENDS FIRESTOPPED.
- C. WALLBOARD, GYPSUM\* — NOM 5/8 IN. (16 MM) THICK AS SPECIFIED IN THE INDIVIDUAL FLOOR-CEILING DESIGN.
2. THROUGH PENETRANT — ONE METALLIC PIPE INSTALLED CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. A NOM ANNULAR SPACE OF MIN 0 IN. (POINT CONTACT) TO MAX. 1/2 IN. (13 MM) IS REQUIRED BETWEEN THE PENETRANT AND THE PERIPHERY OF THE OPENING. PIPE OR TUBING TO BE RIGIDLY SUPPORTED ON EACH SIDE OF THE FOOR ASSEMBLY. THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES OR TUBING MAY BE USED:
- A. CONDUIT — NOM 4 IN. (102 MM) DIAM (OR SMALLER) ELECTRICAL METALLIC TUBING OR STEEL CONDUIT.
- B. STEEL PIPE — NOM 4 IN. (102 MM) DIAM OR (SMALLER) SCH 10 (OR HEAVIER) STEEL PIPE.
- C. IRON PIPE — NOM 4 IN. (102 MM) OR (SMALLER) CAST OR DUCTILE IRON PIPE.
- D. COPPER PIPE — NOM 4 IN. (102 MM) DIAM (OR SMALLER) REGULAR (OR HEAVIER) COPPER PIPE.
3. FIRESTOP SYSTEM — THE FIRESTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
- A. FILL, VOID OR CAVITY MATERIAL\* - CAULK — MIN 3/4 IN.(19 MM) THICKNESS OF FILL MATERIAL APPLIED WITHIN ANNULUS, FLUSH WITH TOP SURFACE OF SUBFLOOR AND MIN 1/4 IN. ( 13 MM) THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS. FLUSH WITH BOTTOM SURFACE OF CEILING. 5/8 IN. (16 MM) THICKNESS OF FILL FOR USE WITH PETRETRANT D. AT POINT CONTACT LOCATION. 1/4 IN.(13 MM) DIAM BEAD OF CAULK APPLIED AT INTERFACE OF PIPE AND PERIPHERY OF OPENING ON TOP SURFACE OF FLOOR AND BOTTOM SURFACE OF LOWER TOP PLATE. RECTORSEAL — MC 150+

Through-penetration Firestop Systems  
N.T.S

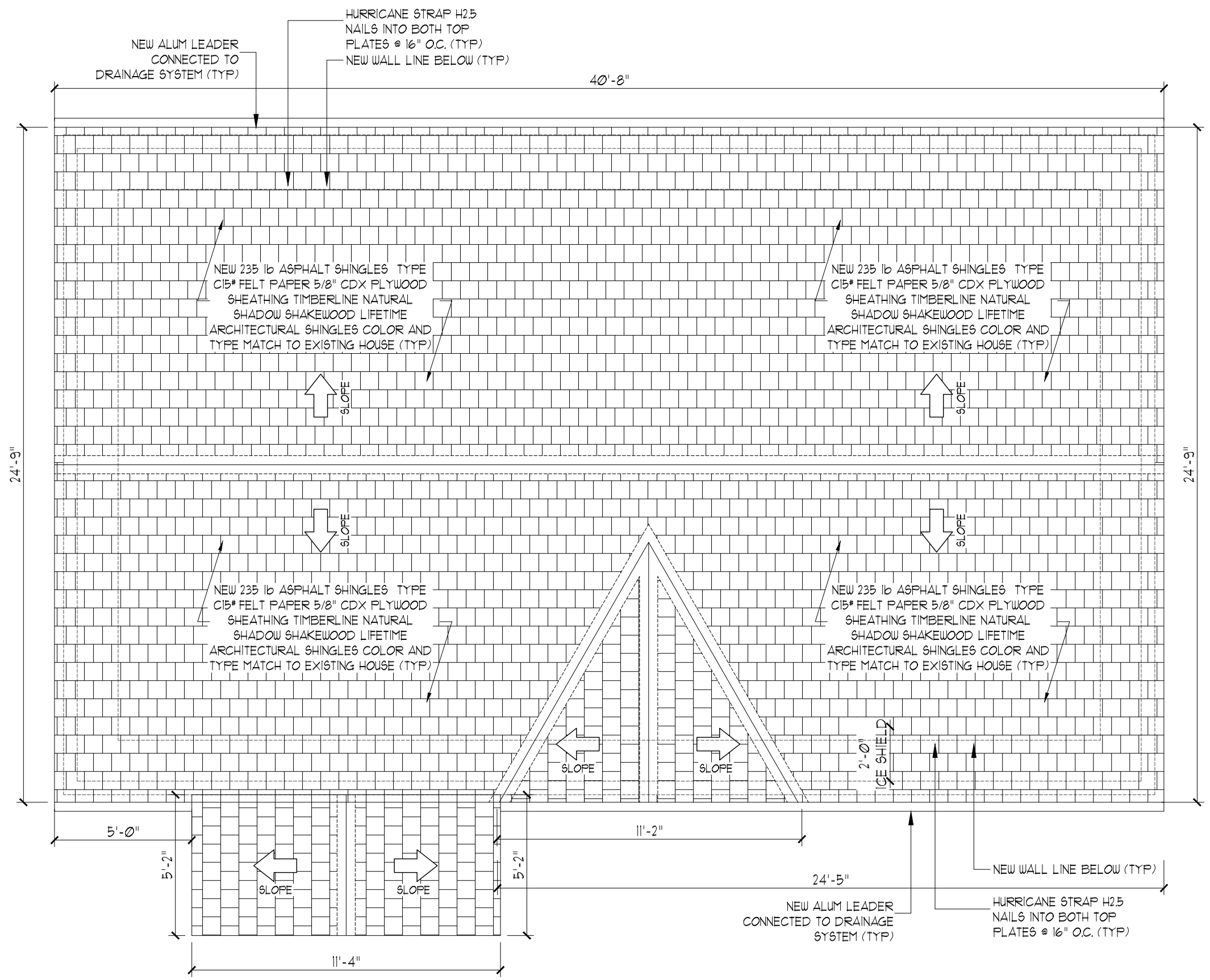
Fireblocking & Draftstopping



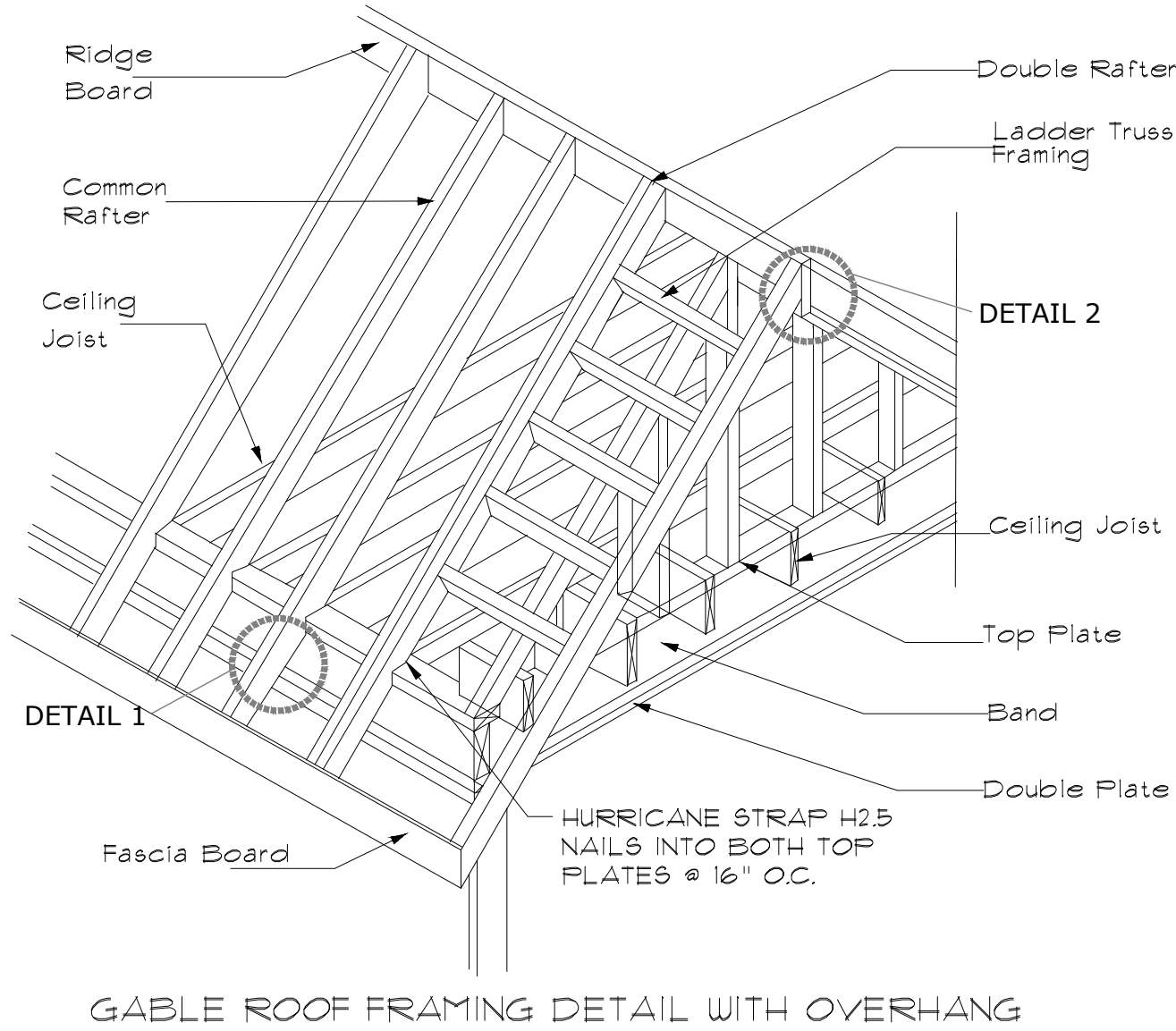
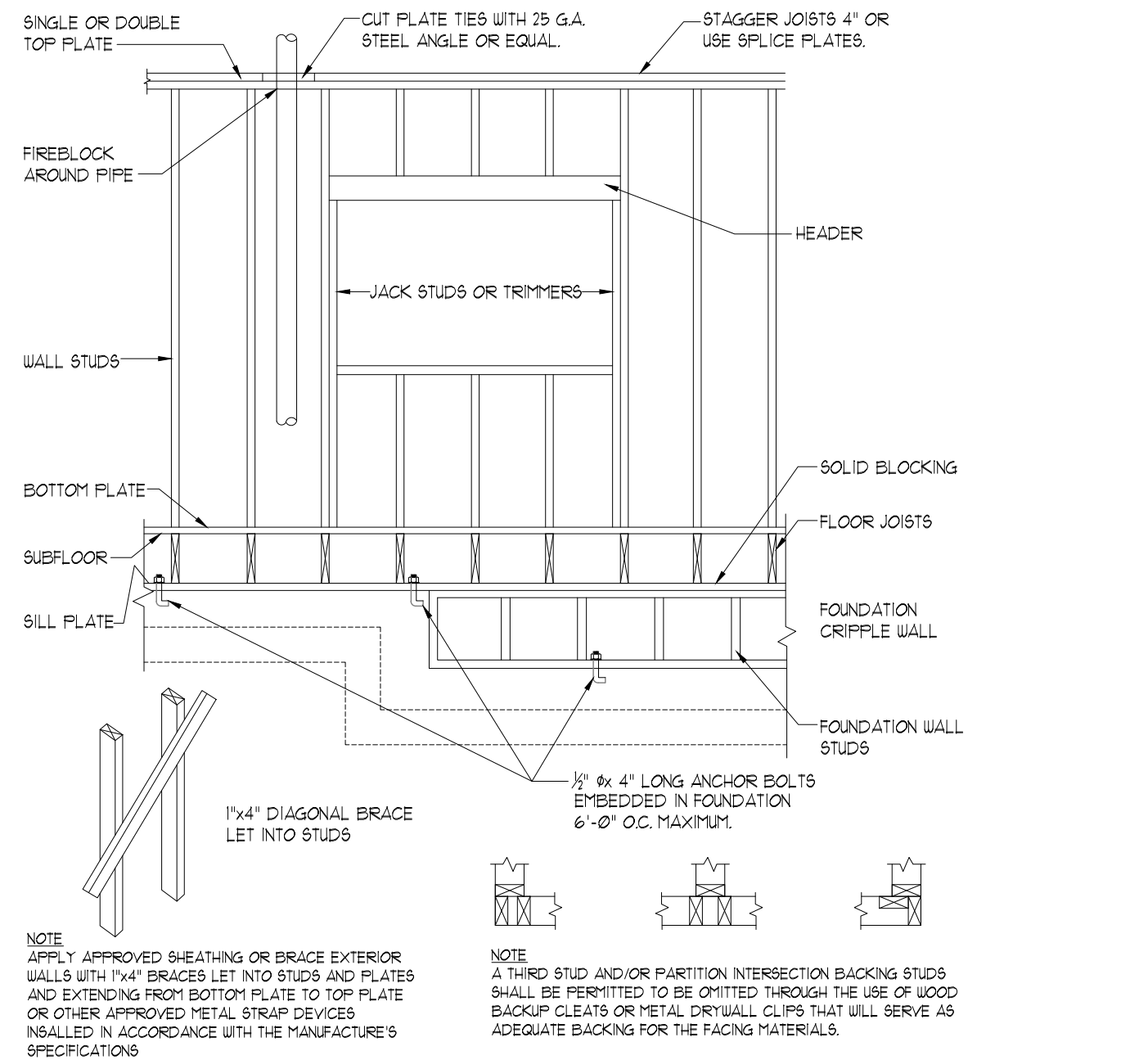
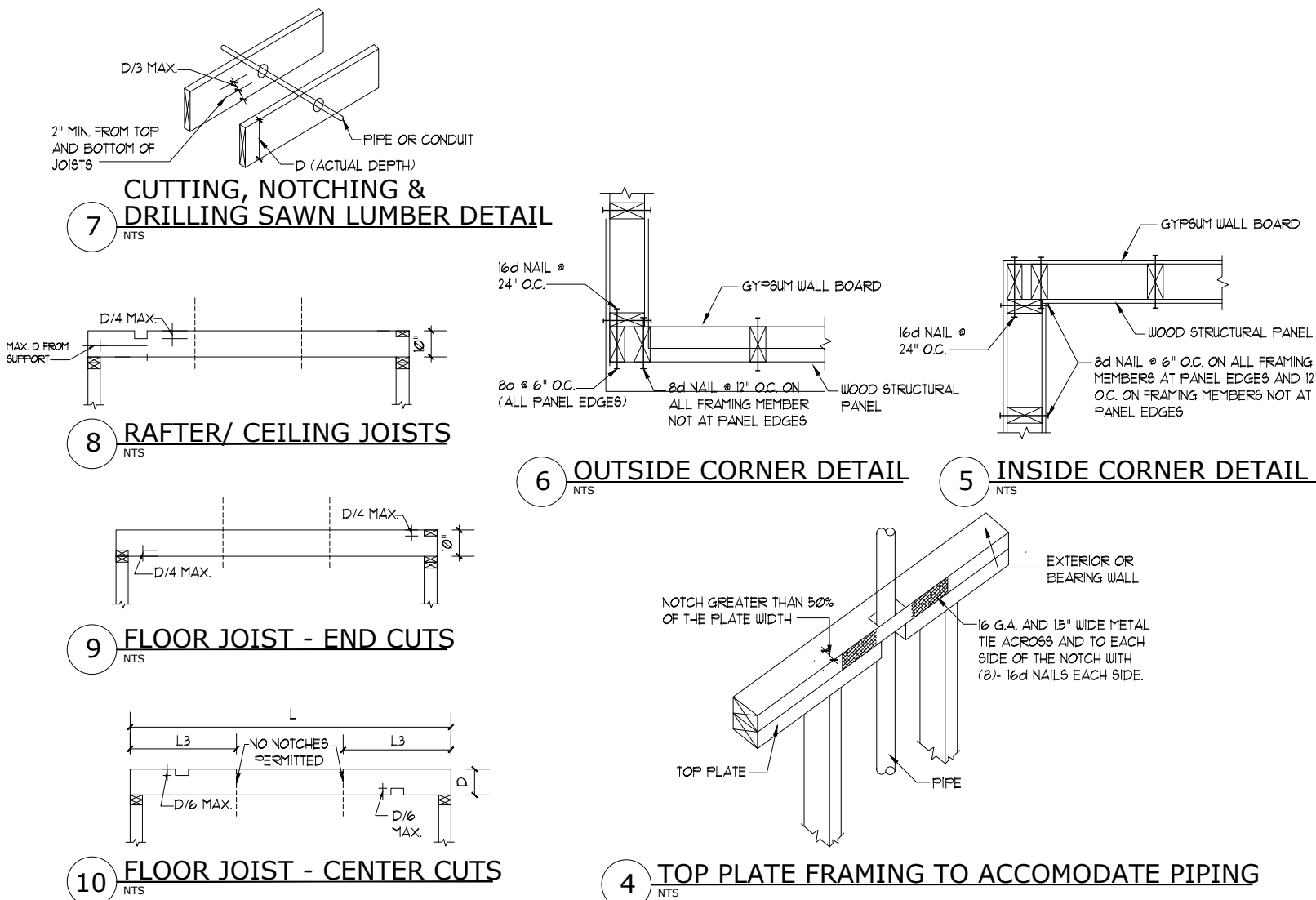
TYPICAL DETAIL FIRE STOPING  
N.T.S



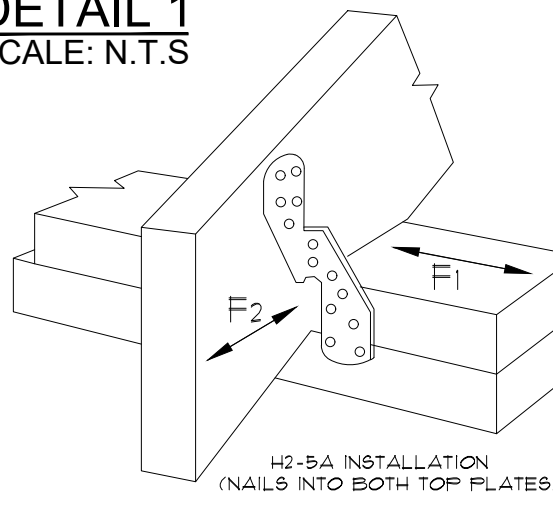
PROPOSED ROOF FRAMING PLAN  
SCALE: 3/16=1'-0"



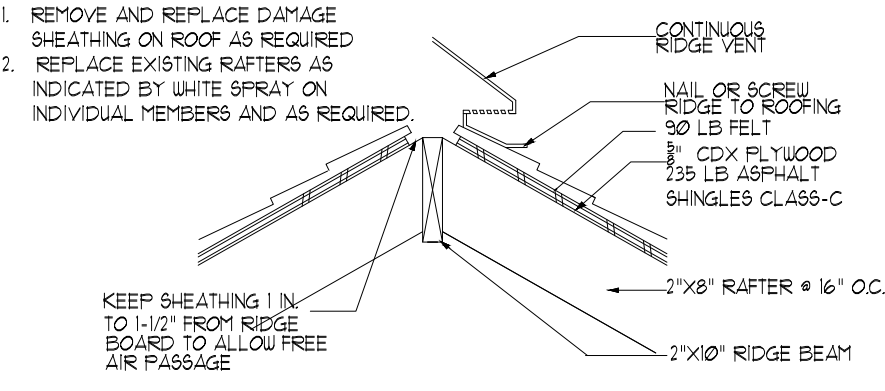
PROPOSED ROOF PLAN  
SCALE: 3/16=1'-0"



DETAIL 1  
SCALE: N.T.S



DETAIL 2  
SCALE: N.T.S



ZONING DATA

63 OLD ALBANY POST RD,  
OSSINING, NY 10562

SECTION: 80.14 BLOCK: 1  
LOT: 14 ZONE: R-7.5

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING AREA TO BE REMOVED

NEW 2"x4" STUD WALL @ 16" O.C.

NEW 2"x6" STUD WALL @ 16" O.C. W/ NEW R-21 BATT INSULATION AND VINYL SIDING ON EXTERIOR FINISH

S.D. SMOKE DETECTOR

C.M. CARBON MONOXIDE

M.V. 50 CMF MECHANICAL VENTILATION

F.E. FIRE EXTINTOR

HD. HEAT DETECTOR

B E C A L L  
ENGINEERING SERVICES

158 DRAKE AVENUE - SUITE # 12  
NEW ROCHELLE - NEW YORK 10801  
becallengineeringpe@gmail.com  
914 473 1408

OWNER

MEM FLIPP CORP / MANUEL HERNANDEZ

PROJECT

PROPOSED INTERIOR RENOVATION & 2ND FL ADDITION OF EXISTING ONE FAMILY HOUSE

DRAWING LIST

PROPOSED 2ND FL FRAMING PLAN  
PROPOSED CEILING FRAMING PLAN  
PROPOSED ROOF FRAMING PLAN  
PROPOSED ROOF PLAN

SEAL & SIGNATURE

PROJECT No: 2025-057

DATE: 4/4/2025

DRAWING BY: AV

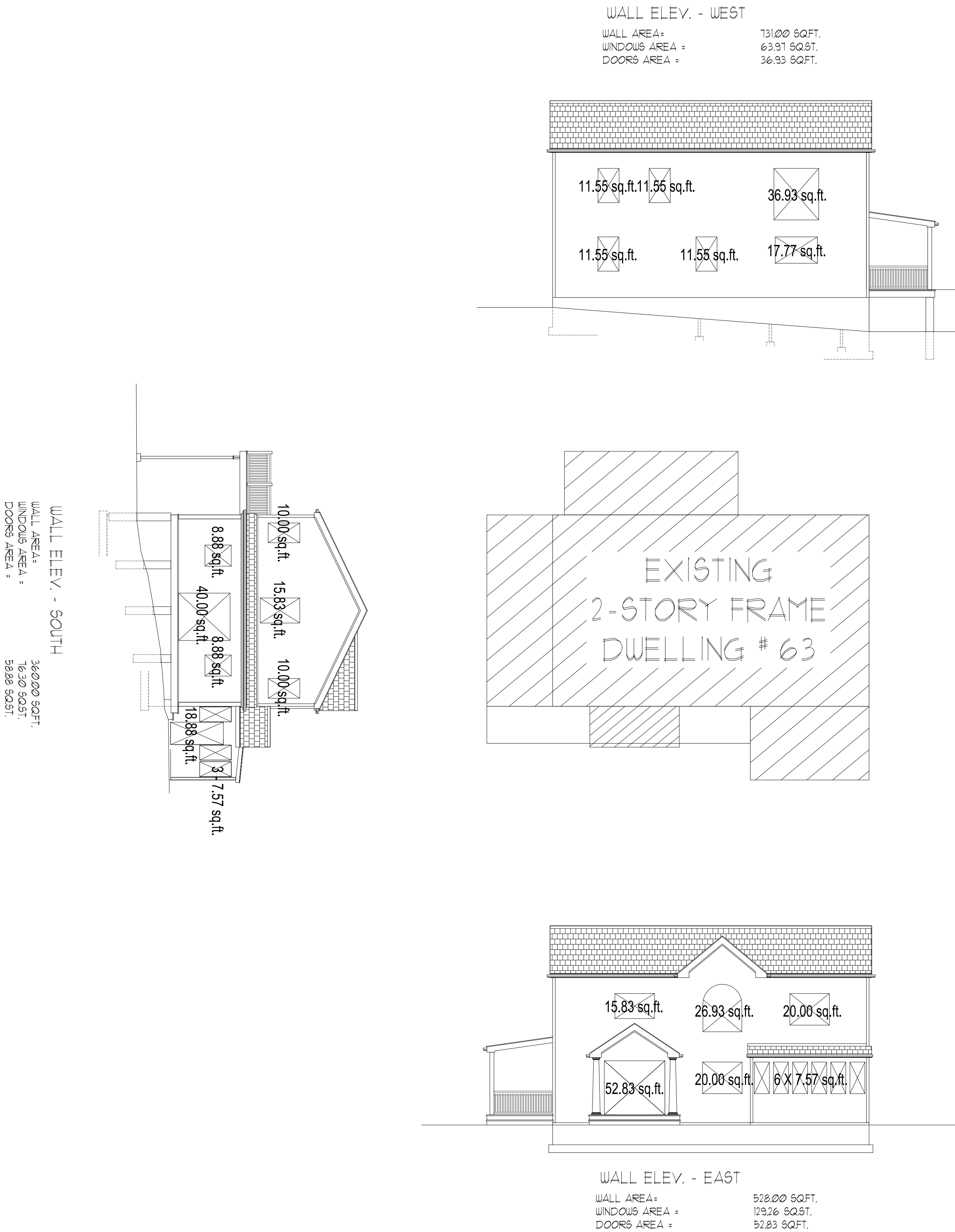
CKD BY: J.A.

DWG No: S-002.00

REGISTERED THROUGH DATE SEPTEMBER 30, 2026

CAD FILE NO: 9 of 10

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NOTE: ANDERSEN  
LOWE ARGON FILLED OR SIMILAR  
ENERGY EFFICIENT WINDOWS  
Ø21 U VALVE

ENERGY CODE COMPLIANCE  
SQUARE FOOTAGE CALES  
9 STADIUM RD, WHITE PLAINS, NEW YORK 10601 PROPOSED  
INTERIOR RENOVATION & 2ND FL. ADDITION OF EXISTING ONE  
FAMILY HOUSE

ENERGY CALCULATION

N.T.S.



Generated by REScheck-Web Software

Compliance Certificate

Project NEW ADDITION AND INTERIOR ALTERATION OF EXISTING ONE FAMILY HOUSE  
- 63 Old Albany Pt RD

Energy Code: 2020 NYStretch - 2018 IECC  
Location: Ossining, New York  
Construction Type: Single-family  
Project Type: Addition  
Project SubType: None  
Orientation: Bldg. faces 90 deg. from North  
Climate Zone: 4 (5199 HDD)  
Permit Date:  
Permit Number:  
All Electric: false  
Is Renewable: false  
Has Charger: false  
Has Battery: false  
Has Heat Pump: false

Construction Site: 63 Old Albany Post Rd  
Ossining, NY 10562  
Owner/Agent:  
Designer/Contractor: John Alleyne  
Becall, Engineering Services  
158 Drake Avenue, Suite #12  
New Rochelle, NY 10801  
9149549618

Compliance: Passes using UA trade-off

Compliance: 4.0% Better Than Code Maximum UA: 277 Your UA: 266 Maximum SHGC: 0.40 Your SHGC: 0.40  
The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.  
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

| Assembly                                                        | Gross Area<br>or<br>Perimeter | Cavity<br>R-Value | Cont.<br>R-Value | Prop.<br>U-Factor | Req.<br>U-Factor | Prop.<br>UA | Req.<br>UA |
|-----------------------------------------------------------------|-------------------------------|-------------------|------------------|-------------------|------------------|-------------|------------|
| Ceiling: Flat Ceiling or Scissor Truss                          | 968                           | 49.0              | 5.0              | 0.023             | 0.026            | 22          | 25         |
| Wall North El.: Wood Frame, 16" o.c.<br>Orientation: Front      | 446                           | 21.0              | 5.0              | 0.043             | 0.045            | 13          | 14         |
| Door: Solid Door (under 50% glazing)<br>Orientation: Front      | 1                             |                   |                  | 0.270             | 0.270            | 0           | 0          |
| Window: Vinyl Frame<br>SHGC: 0.40<br>Orientation: Front         | 142                           |                   |                  | 0.270             | 0.270            | 38          | 38         |
| Wall West El.: Wood Frame, 16" o.c.<br>Orientation: Right side  | 731                           | 21.0              | 5.0              | 0.043             | 0.045            | 27          | 28         |
| Door: Solid Door (under 50% glazing)<br>Orientation: Right side | 40                            |                   |                  | 0.270             | 0.270            | 11          | 11         |
| Window: Vinyl Frame<br>SHGC: 0.40<br>Orientation: Right side    | 64                            |                   |                  | 0.270             | 0.270            | 17          | 17         |
| Wall East El.: Wood Frame, 16" o.c.<br>Orientation: Left side   | 528                           | 21.0              | 5.0              | 0.043             | 0.045            | 15          | 16         |
| Door: Solid Door (under 50% glazing)<br>Orientation: Left side  | 53                            |                   |                  | 0.270             | 0.270            | 14          | 14         |
| Window: Vinyl Frame<br>SHGC: 0.40<br>Orientation: Left side     | 129                           |                   |                  | 0.270             | 0.270            | 35          | 35         |
| Wall South El.: Wood Frame, 16" o.c.<br>Orientation: Back       | 360                           | 21.0              | 5.0              | 0.043             | 0.045            | 10          | 10         |
| Door: Solid Door (under 50% glazing)<br>Orientation: Back       | 58                            |                   |                  | 0.270             | 0.270            | 16          | 16         |
| Window: Vinyl Frame<br>SHGC: 0.40<br>Orientation: Back          | 76                            |                   |                  | 0.270             | 0.270            | 21          | 21         |
| Floor: All-Wood Joist/Truss                                     | 968                           | 30.0              | 5.0              | 0.028             | 0.033            | 27          | 32         |

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2020 NYStretch - 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.



2020 NYStretch -  
2018 IECC Energy  
Efficiency Certificate

| Insulation Rating                |  | R-Value     |      |
|----------------------------------|--|-------------|------|
| Above-Grade Wall                 |  | 26.00       |      |
| Below-Grade Wall                 |  | 0.00        |      |
| Floor                            |  | 35.00       |      |
| Ceiling / Roof                   |  | 54.00       |      |
| Ductwork (unconditioned spaces): |  | _____       |      |
| Glass & Door Rating              |  | U-Factor    | SHGC |
| Window                           |  | 0.27        | 0.40 |
| Door                             |  | 0.27        |      |
| Heating & Cooling Equipment      |  | Efficiency  |      |
| Heating System: _____            |  | _____       |      |
| Cooling System: _____            |  | _____       |      |
| Water Heater: _____              |  | _____       |      |
|                                  |  |             |      |
| Name: _____                      |  | Date: _____ |      |
| Comments                         |  |             |      |

JOHN ALLEYNE

Name - Title



Signature

05/05/2025

Date

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OSSINING, NY 10562

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BECALL  
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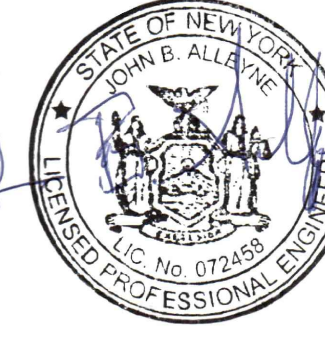
PROJECT

PROPOSED INTERIOR RENOVATION & 2ND  
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10 of 10