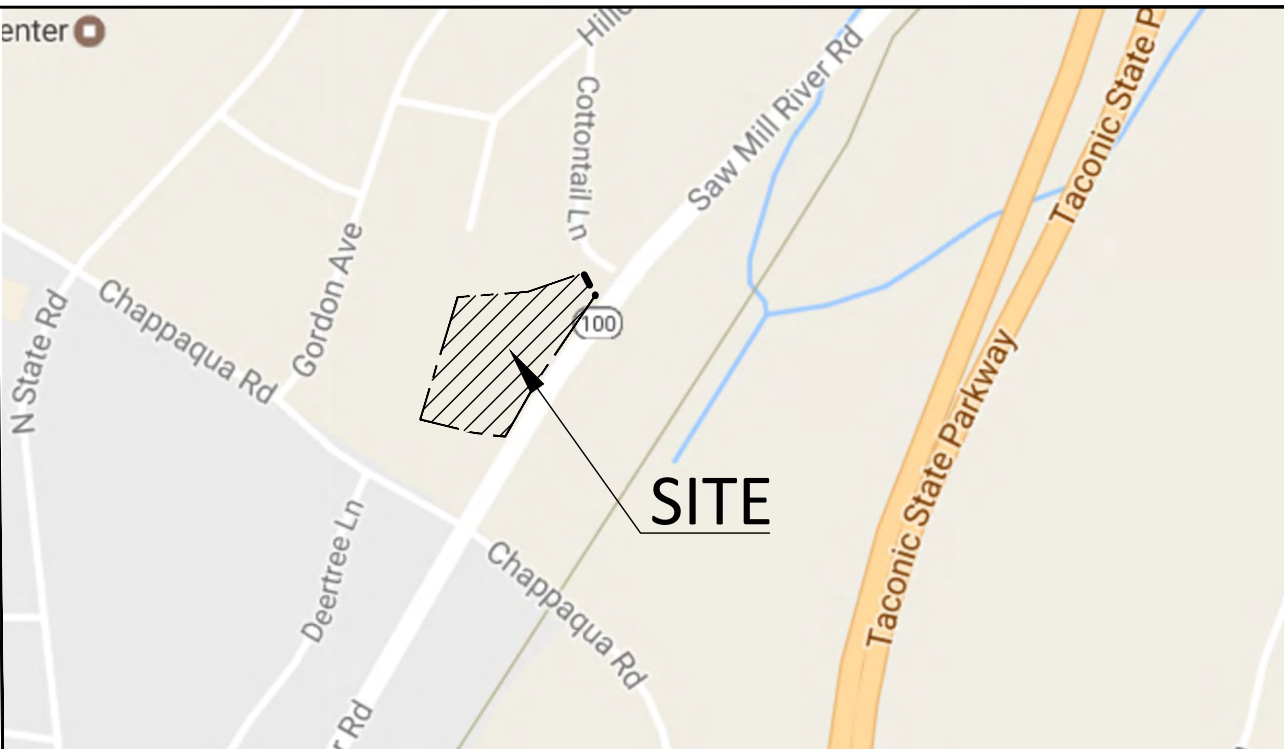
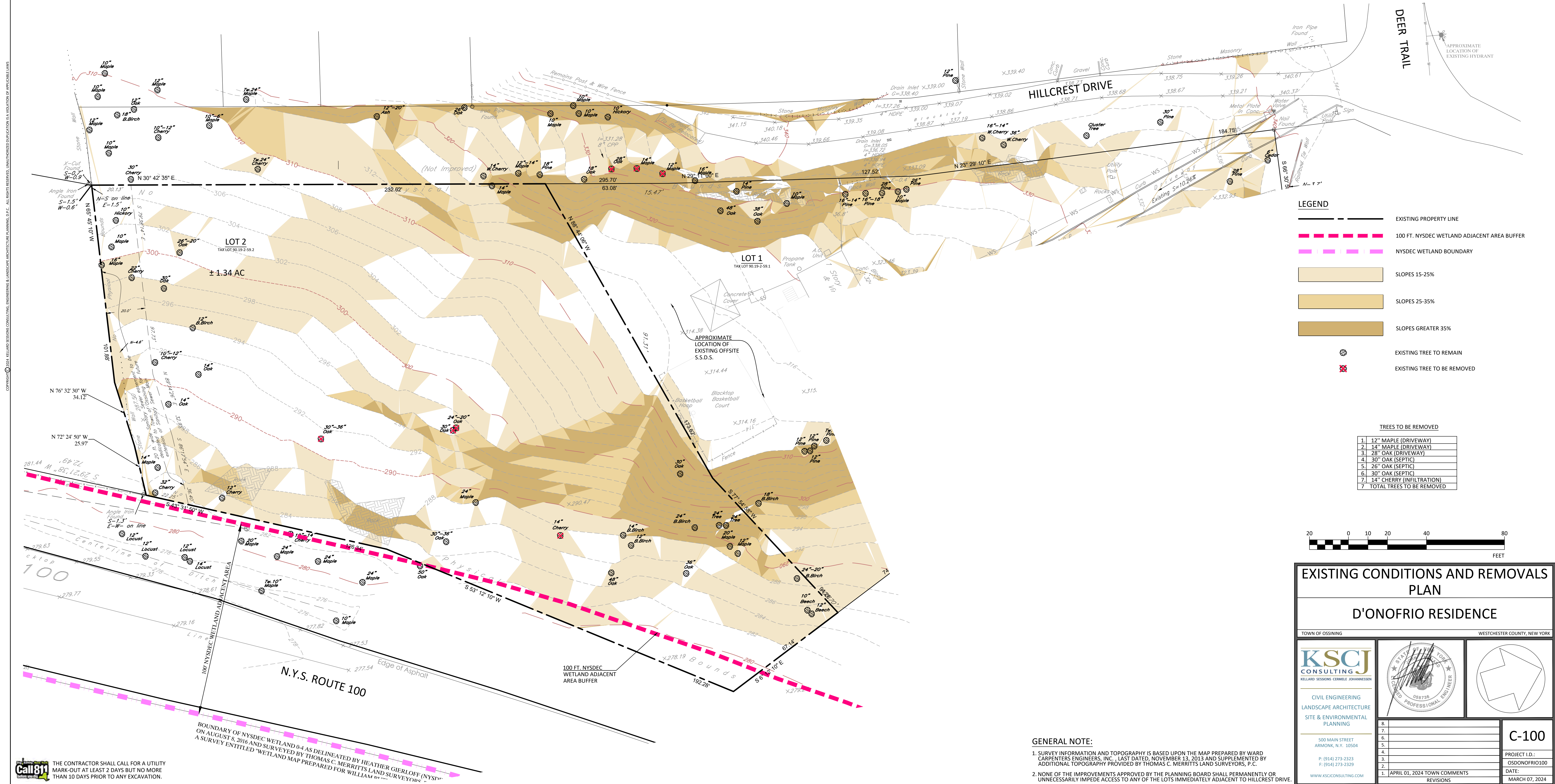


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LOCATION MAP
NOT TO SCALE

SITE DATA:

OWNER: LISA & MICHAEL D'ONOFRIO
3 SPENCER PLACE
OSSINING, N.Y. 10562

PROJECT SITE: LOT 59.2 HILLCREST DRIVE
BRIARCLIFF MANOR, N.Y. 10510

TAX MAP ID NUMBER: SECTION 90.19, BLOCK 2, LOT 59.2 RS # 2

LOT AREA: ± 1.3 AC (± 58,370.4 SF)

ZONING DISTRICT: RESIDENTIAL R-30

FIRE DISTRICT: BRIARCLIFF FIRE DISTRICT

SCHOOL DISTRICT: OSSINING SCHOOL DISTRICT

WATER SUPPLY: OSSINING WATER DEPARTMENT

EXISTING CONDITIONS AND REMOVALS PLAN

D'ONOFRIO RESIDENCE

KSCJ CONSULTING
RELLARD SESSIONS CERMALLE JOHANNESSEN

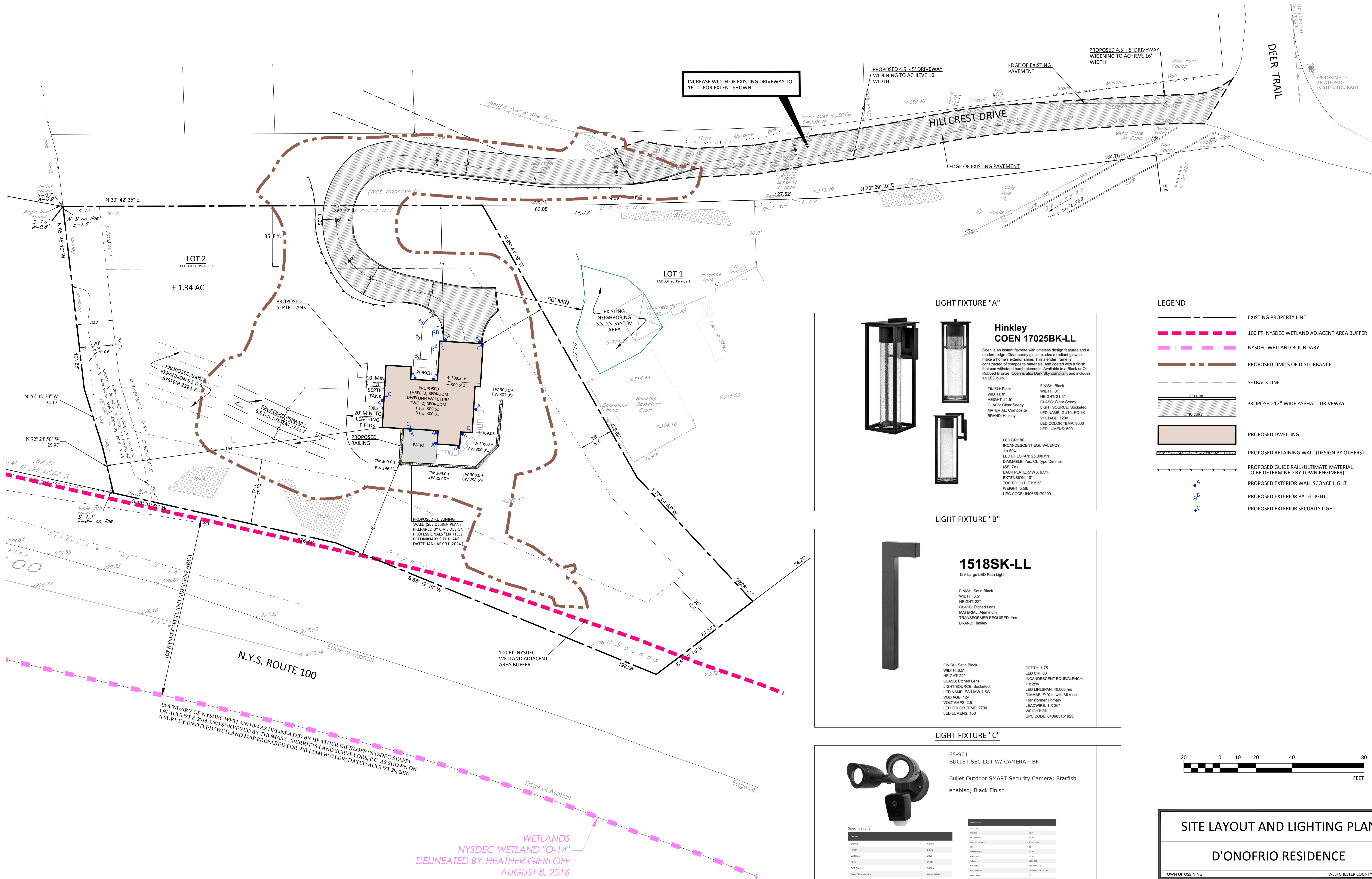
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1.	APRIL 01, 2024 TOWN COMMENTS
	REVISIONS

C-100
PROJECT I.D.: OSSONOFRI0100
DATE: MARCH 07, 2024

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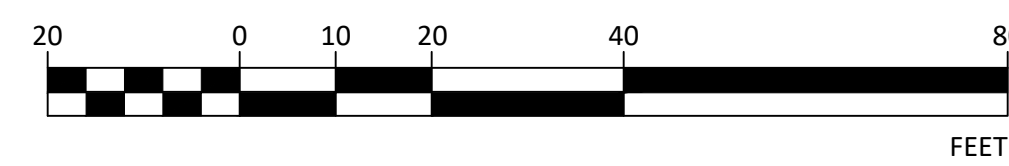
R-30 ZONING TABULATION

LOT	MINIMUM LOT AREA (SQUARE FEET)	MINIMUM LOT WIDTH (FEET)	MINIMUM LOT DEPTH (FEET)	MINIMUM YARD REQUIREMENTS			MAXIMUM HEIGHT		COVERAGE
				FRONT (FEET)	LESSER SIDE/TOTAL BOTH SIDES (FEET)	REAR (FEET)	STORIES	FEET	
REQUIRED	30,000	125	150	35	18/38	36	2 1/2	35	20
LOT 2	58,370	220	158	75	38/192	53	2 1/2	35	3.7

Call 811
THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

GENERAL NOTE:

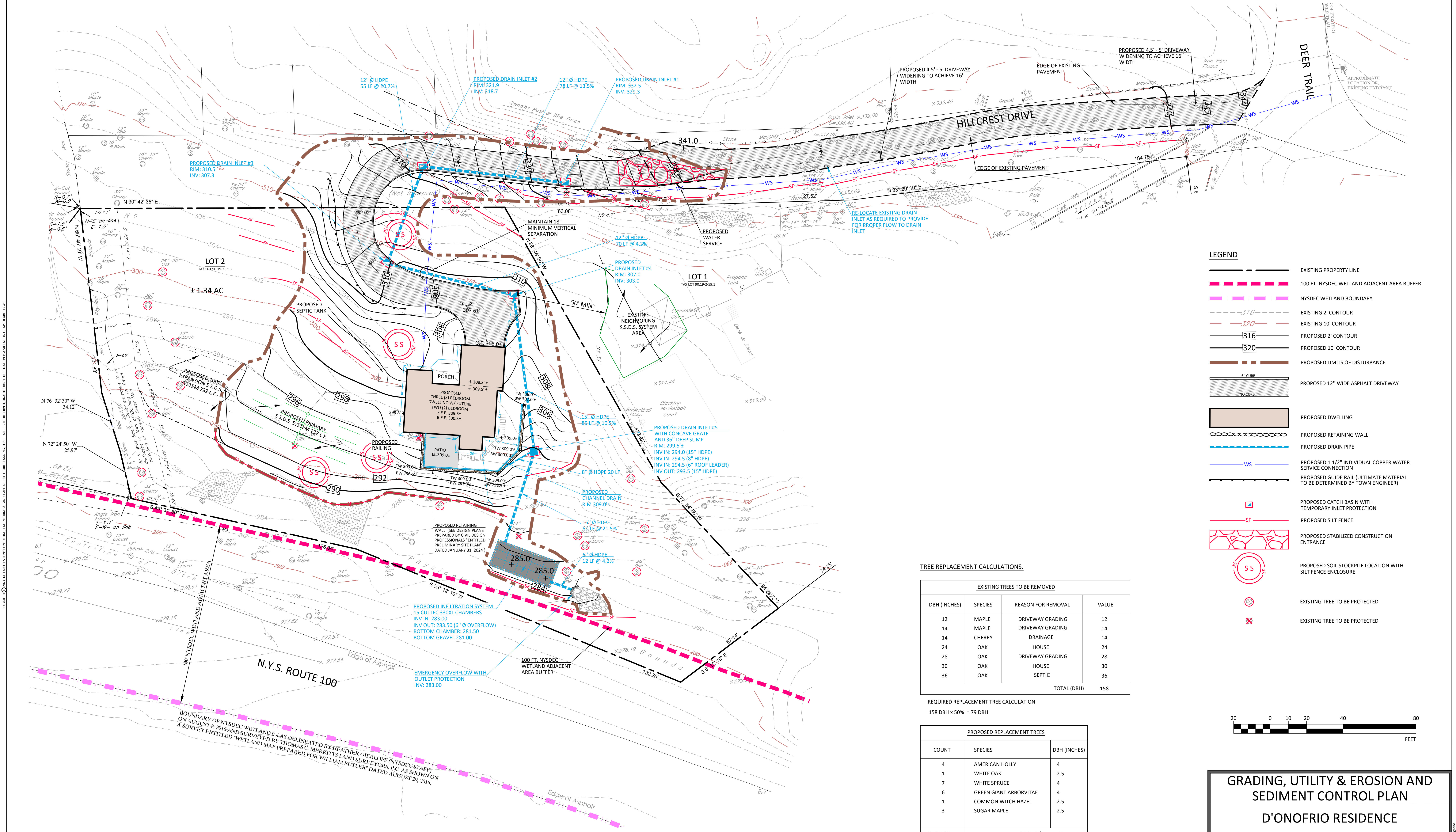
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SITE LAYOUT AND LIGHTING PLAN

D'ONOFRIO RESIDENCE

TOWN OF OSSING	WESTCHESTER COUNTY, NEW YORK	
KSCSJ CONSULTING RELLARD SESSIONS CEMELLE JOHANNESSEN		
CIVIL ENGINEERING LANDSCAPE ARCHITECTURE SITE & ENVIRONMENTAL PLANNING		
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8. _____ 9. _____ 10. _____ 11. APRIL 01, 2024 TOWN COMMENTS REVISIONS		C-110 PROJECT I.D.: OSSONOFRI0100 DATE: MARCH 07, 2024



- LEGEND**
- EXISTING PROPERTY LINE
 - 100 FT. NYSDEC WETLAND ADJACENT AREA BUFFER
 - NYSDEC WETLAND BOUNDARY
 - EXISTING 2' CONTOUR
 - EXISTING 10' CONTOUR
 - PROPOSED 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - PROPOSED LIMITS OF DISTURBANCE
 - PROPOSED 12" WIDE ASPHALT DRIVEWAY
 - PROPOSED DWELLING
 - PROPOSED RETAINING WALL
 - PROPOSED DRAIN PIPE
 - PROPOSED 1 1/2" INDIVIDUAL COPPER WATER SERVICE CONNECTION
 - PROPOSED GUIDE RAIL (ULTIMATE MATERIAL TO BE DETERMINED BY TOWN ENGINEER)
 - PROPOSED CATCH BASIN WITH TEMPORARY INLET PROTECTION
 - PROPOSED SILT FENCE
 - PROPOSED STABILIZED CONSTRUCTION ENTRANCE
 - PROPOSED SOIL STOCKPILE LOCATION WITH SILT FENCE ENCLOSURE
 - EXISTING TREE TO BE PROTECTED
 - EXISTING TREE TO BE PROTECTED

TREE REPLACEMENT CALCULATIONS:

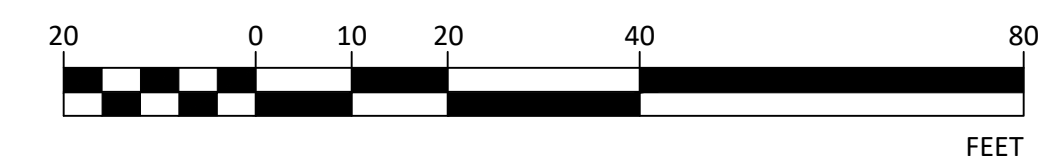
EXISTING TREES TO BE REMOVED			
DBH (INCHES)	SPECIES	REASON FOR REMOVAL	VALUE
12	MAPLE	DRIVEWAY GRADING	12
14	MAPLE	DRIVEWAY GRADING	14
14	CHERRY	DRAINAGE	14
24	OAK	HOUSE	24
28	OAK	DRIVEWAY GRADING	28
30	OAK	HOUSE	30
36	OAK	SEPTIC	36
TOTAL (DBH)			158

REQUIRED REPLACEMENT TREE CALCULATION

158 DBH x 50% = 79 DBH

PROPOSED REPLACEMENT TREES		
COUNT	SPECIES	DBH (INCHES)
4	AMERICAN HOLLY	4
1	WHITE OAK	2.5
7	WHITE SPRUCE	4
6	GREEN GIANT ARBORVITAE	4
1	COMMON WITCH HAZEL	2.5
3	SUGAR MAPLE	2.5
22 TREES	TOTAL (DBH)	80.5

(SEE SHEET C-210 FOR LANDSCAPING PLAN)



GRADING, UTILITY & EROSION AND SEDIMENT CONTROL PLAN
D'ONOFRIO RESIDENCE

TOWN OF OSSINGINGWESTCHESTER COUNTY, NEW YORK

KSCJ
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RELLARD SESSIONS CERMIE JOHANNESSEN

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3.		PROJECT I.D.: OSSONOFRI0100
2.		DATE: MARCH 07, 2024
1.	APRIL 01, 2024 TOWN COMMENTS	REVISIONS

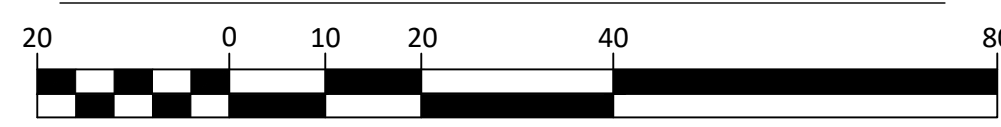
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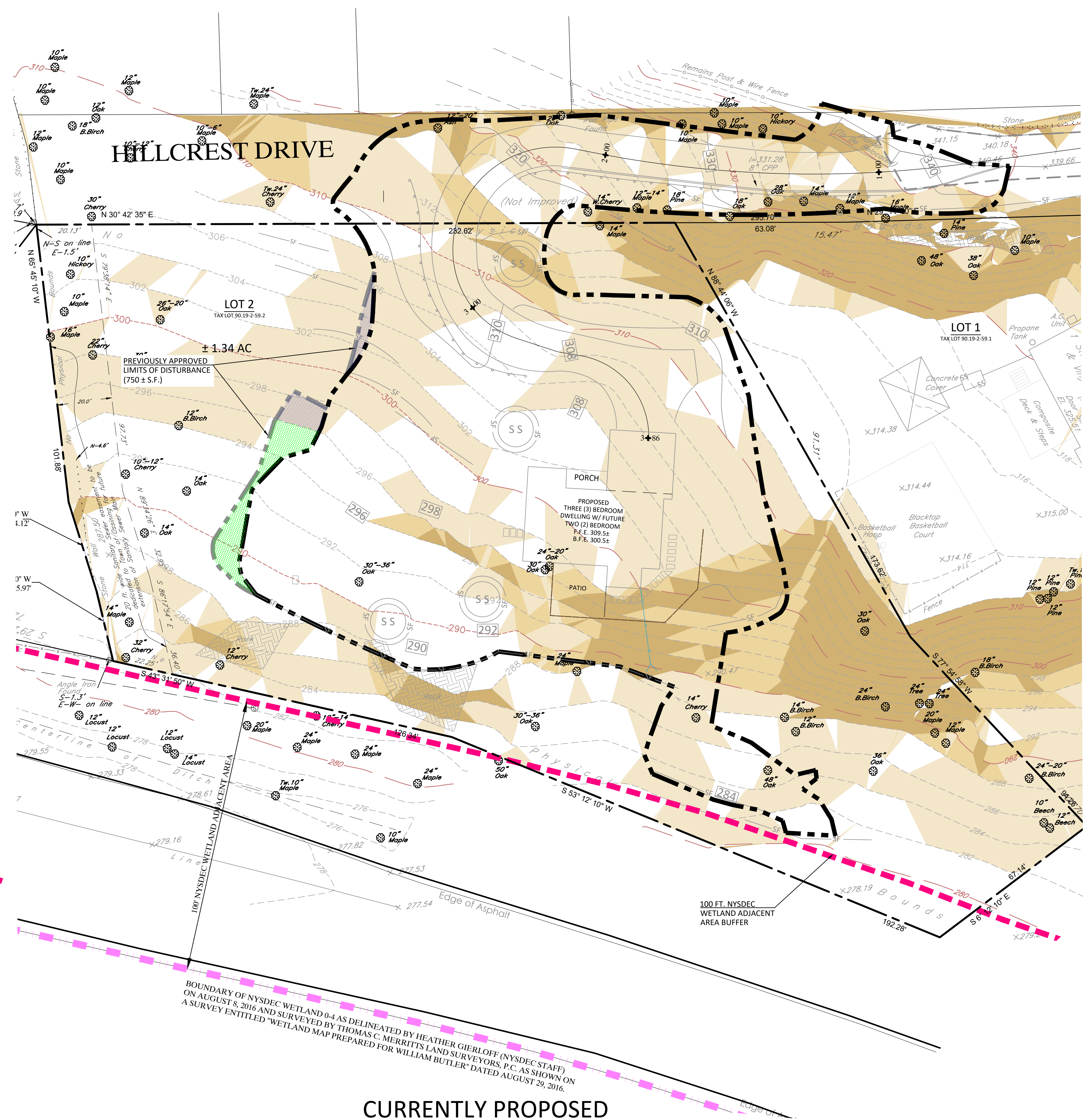
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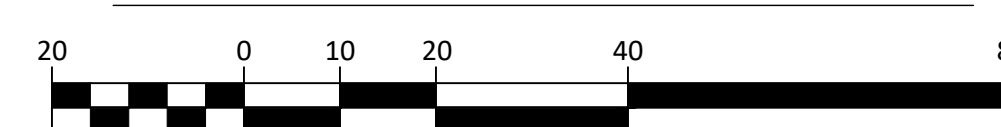
LEGEND

- | | | | |
|--|---|--|---|
| | SLOPES 15-25% | | EXISTING PROPERTY LINE |
| | SLOPES 25-35% | | 100 FT. NYSDEC WETLAND ADJACENT AREA BUFFER |
| | SLOPES GREATER 35% | | NYSDEC WETLAND BOUNDARY |
| | SLOPES GREATER 35% | | LIMIT OF DISTURBANCE |
| | SLOPES GREATER 35% | | EXISTING TREE |
| | SLOPES GREATER 35% | | |
| | PREVIOUSLY PROPOSED LIMITS OF DISTURBANCE TO BE PRESERVED | | |
| | AREAS OF SLOPES PREVIOUSLY PROPOSED FOR DISTURBANCE | | |

SLOPE DISTURBANCE		
	PREVIOUS APPROVED	CURRENTLY PROPOSED
15 - 25% SLOPES	12,002 SF	11,002 SF
25 - 35% SLOPES	2,609 SF	2,609 SF
35% SLOPES OR GREATER	2,017 SF	2,017 SF



CURRENTLY PROPOSED



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SLOPE DISTURBANCE PLAN

D'ONOFRIO RESIDENCE

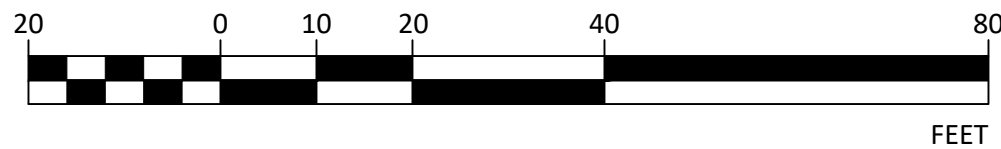
TOWN OF OSSING	WESTCHESTER COUNTY, NEW YORK																				
CIVIL ENGINEERING LANDSCAPE ARCHITECTURE SITE & ENVIRONMENTAL PLANNING																					
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 - NYSDEC WETLAND BOUNDARY
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 - PREVIOUSLY APPROVED LIMITS OF DISTURBANCE
 - PROPOSED 12" WIDE ASPHALT DRIVEWAY
 - PROPOSED DWELLING
 - PROPOSED RETAINING WALL
 - PROPOSED DRAIN PIPE
 - PROPOSED 1 1/2" INDIVIDUAL COPPER WATER SERVICE CONNECTION
 - PROPOSED GUIDE RAIL (ULTIMATE MATERIAL TO BE DETERMINED BY TOWN ENGINEER)

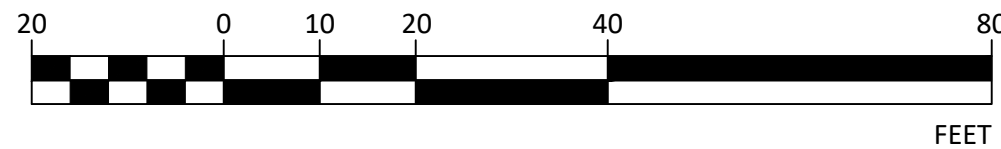
PREVIOUSLY APPROVED PLAN



LEGEND

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CURRENTLY PROPOSED PLAN



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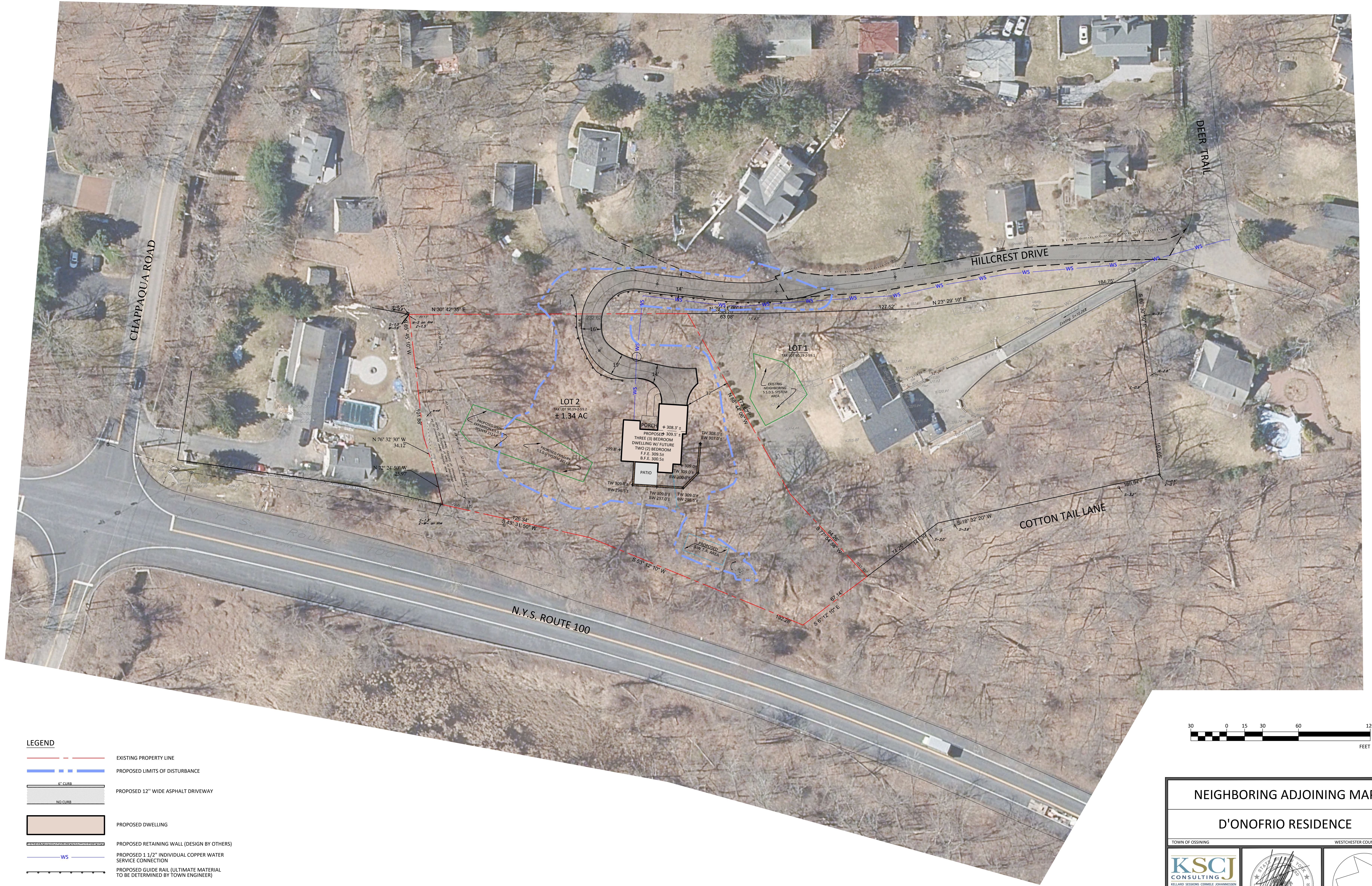
COMPARISON PLAN

D'ONOFRIO RESIDENCE

TOWN OF OSSING		WESTCHESTER COUNTY, NEW YORK																								
KSCJ CONSULTING KELLARD SESSIONS CERMIE JOHANNESSEN																										
CIVIL ENGINEERING LANDSCAPE ARCHITECTURE SITE & ENVIRONMENTAL PLANNING																										
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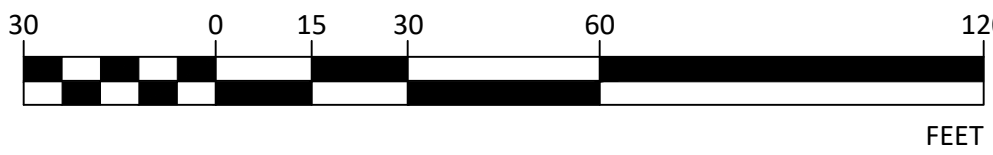
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LEGEND

- EXISTING PROPERTY LINE
- PROPOSED LIMITS OF DISTURBANCE
- 8" CURB
- PROPOSED 12" WIDE ASPHALT DRIVEWAY
- NO CURB
- PROPOSED DWELLING
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED 1 1/2" INDIVIDUAL COPPER WATER SERVICE CONNECTION
- PROPOSED GUIDE RAIL (ULTIMATE MATERIAL TO BE DETERMINED BY TOWN ENGINEER)



NEIGHBORING ADJOINING MAP

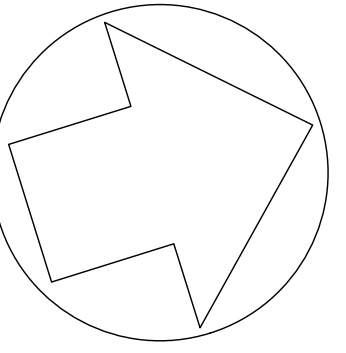
D'ONOFRIO RESIDENCE

TOWN OF OSSING WESTCHESTER COUNTY, NEW YORK

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C-150

PROJECT I.D.:
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GENERAL NOTE:

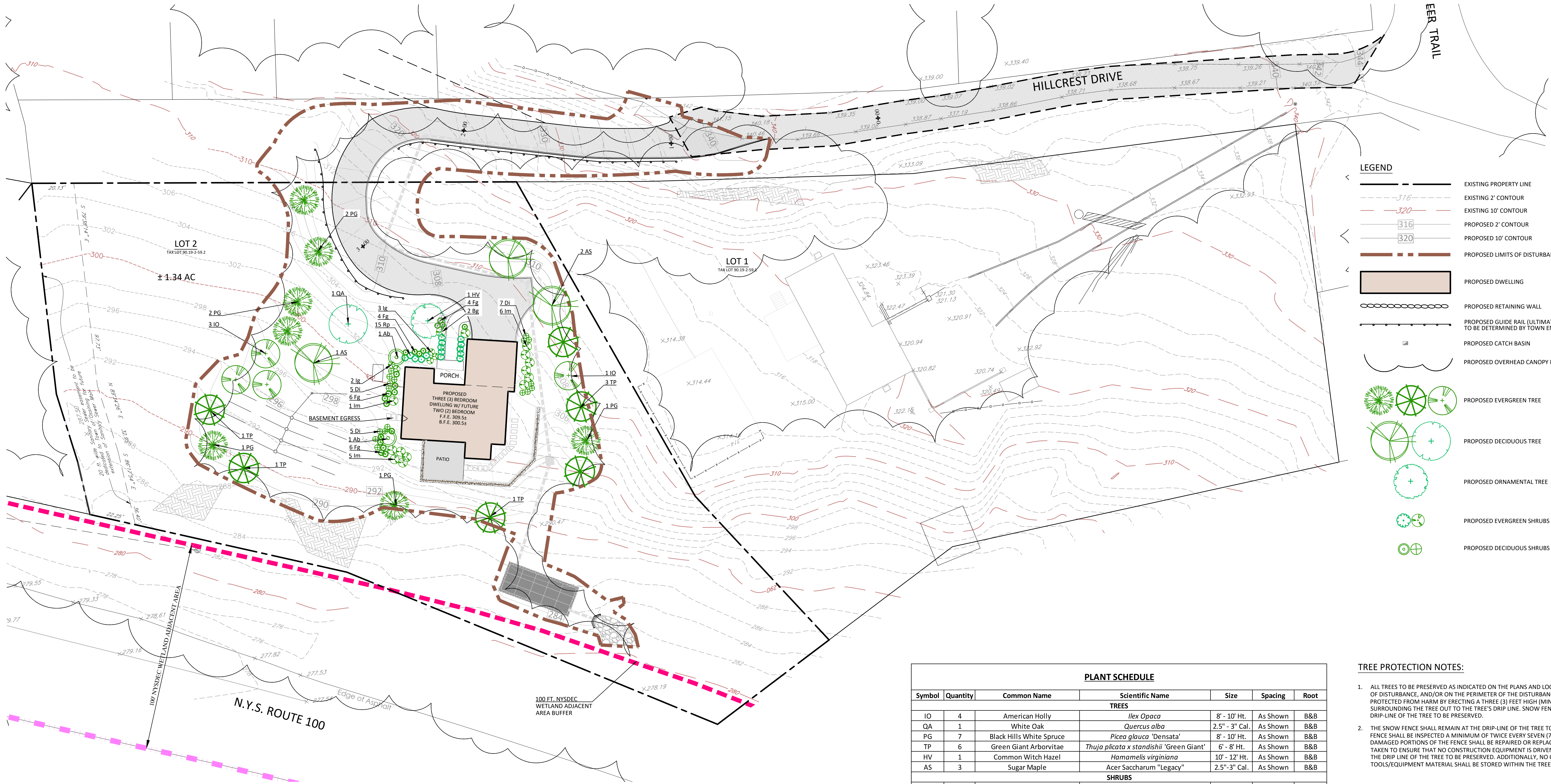
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LEGEND

- EXISTING PROPERTY LINE
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED DWELLING
- PROPOSED RETAINING WALL
- PROPOSED GUIDE RAIL (ULTIMATE MATERIAL TO BE DETERMINED BY TOWN ENGINEER)
- PROPOSED CATCH BASIN
- PROPOSED OVERHEAD CANOPY LINE
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN SHRUBS
- PROPOSED DECIDUOUS SHRUBS

PLANT SCHEDULE						
Symbol	Quantity	Common Name	Scientific Name	Size	Spacing	Root
TREES						
IO	4	American Holly	<i>Ilex Opaca</i>	8' - 10' Ht.	As Shown	B&B
QA	1	White Oak	<i>Quercus alba</i>	2.5" - 3" Cal.	As Shown	B&B
PG	7	Black Hills White Spruce	<i>Picea glauca</i> 'Densata'	8' - 10' Ht.	As Shown	B&B
TP	6	Green Giant Arborvitae	<i>Thuja plicata x standishii</i> 'Green Giant'	6' - 8' Ht.	As Shown	B&B
HV	1	Common Witch Hazel	<i>Hamamelis virginiana</i>	10' - 12' Ht.	As Shown	B&B
AS	3	Sugar Maple	<i>Acer Saccharum</i> "Legacy"	2.5" - 3" Cal.	As Shown	B&B
SHRUBS						
Ab	2	Red Chokeberry	<i>Aronia arbutifolia</i> 'Brilliantissima'	6' - 8' Ht.	As Shown	B&B
Bg	2	Green Mountain Boxwood	<i>Buxus x 'Green Mountain'</i>	30" Ht.	As Shown	B&B
Di	17	Bush Honeysuckle	<i>Diervilla lonicera</i>	# 3	As Shown	CONT.
Fg	20	Dwarf Fothergilla	<i>Fothergilla x gardenii</i> 'Mt. Airy'	# 3	As Shown	CONT.
Ig	5	Shamrock Inkberry	<i>Ilex glabra</i> 'Shamrock'	# 5	As Shown	CONT.
Im	12	Blue Stallion Holly	<i>Ilex x meserveae</i> 'Mesan'	# 12	As Shown	CONT.
Rp	15	PJM Rhododendron	<i>Rhododendron x 'P.J.M.'</i>	# 7	As Shown	CONT.

TREE PROTECTION NOTES:

- ALL TREES TO BE PRESERVED AS INDICATED ON THE PLANS AND LOCATED WITHIN THE LIMITS OF DISTURBANCE, AND/OR ON THE PERIMETER OF THE DISTURBANCE LIMITS SHALL BE PROTECTED FROM HARM BY ERECTING A THREE (3) FEET HIGH (MINIMUM) SNOW FENCE, SURROUNDING THE TREE OUT TO THE TREE'S DRIP LINE. SNOW FENCE MUST EXTEND TO THE DRIP-LINE OF THE TREE TO BE PRESERVED.
- THE SNOW FENCE SHALL REMAIN AT THE DRIP-LINE OF THE TREE TO BE PRESERVED. THE SNOW FENCE SHALL BE INSPECTED A MINIMUM OF TWICE EVERY SEVEN (7) CALENDAR DAYS. ANY DAMAGED PORTIONS OF THE FENCE SHALL BE REPAIRED OR REPLACED. CARE SHALL ALSO BE TAKEN TO ENSURE THAT NO CONSTRUCTION EQUIPMENT IS DRIVEN AND/OR PARKED WITHIN THE DRIP LINE OF THE TREE TO BE PRESERVED. ADDITIONALLY, NO CONSTRUCTION TOOLS/EQUIPMENT MATERIAL SHALL BE STORED WITHIN THE TREE'S DRIP LINE AS WELL.

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LANDSCAPING PLAN

D'ONOFRIO RESIDENCE

TOWN OF OSSININGWESTCHESTER COUNTY, NEW YORK

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KILLARD SESSIONS CERMELE JOHANNESSEN

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SEAL OF THE STATE OF NEW YORK
LANDSCAPE ARCHITECT
THOMAS C. MERRITS
NO. 00300

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Call 811
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GENERAL LANDSCAPE PLANTING NOTES:

- ALL PRECAUTIONS SHALL BE TAKEN IN CARTING, STORING, AND PLANTING OF MATERIALS TO PROTECT ADJACENT PAVEMENT AND LANDSCAPE AREAS.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY-GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, UNLESS SPECIFICALLY NOTED. ALL PLANTS SHALL BE OF SPECIMEN QUALITY EXCEPTUAL, HEAVY, SYMMETRICAL, FREE OF DISEASE AND INSECTS, EGGS OR LARVAE, AND SHALL HAVE HEALTHY WELL DEVELOPED ROOT SYSTEMS. THE LANDSCAPE ARCHITECT AND/OR THE OWNER OR THEIR REPRESENTATIVE RESERVES THE RIGHT TO TAG, INSPECT AND APPROVE ALL PLANT MATERIALS AND REJECT ANY PLANTS FOUND TO BE UNACCEPTABLE AT THE NURSERY, AT THE SITE UPON DELIVERY, OR UPON INSTALLATION. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIAL FROM THE SITE AND REPLACE WITH APPROVED EQUIVALENT BY LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BE LABELED BY PLANT NAME, LABELS SHALL BE ATTACHED SECURELY TO ALL PLANTS, BUNDLES AND CONTAINERS WHEN DELIVERED.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE PERMITTED. IF THE SPECIFIED LANDSCAPE MATERIAL CANNOT BE OBTAINED, THE CONTRACTOR SHALL SUBMIT A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL. SUBSTITUTIONS OF PLANT MATERIALS MUST BE AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- THE LANDSCAPE CONTRACTOR SHALL STAKE OUT THE LIMIT OF PLANTING LOCATIONS, PRIOR TO INSTALLATION WITH REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLAN GOVERNS. IT IS THE CONTRACTORS RESPONSIBILITY TO CALL 811 AND HAVE ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES MARKED PRIOR TO THE START OF EXCAVATION ACTIVITIES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROJECT ENGINEER AND OWNER IF THERE ARE CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- THE BACKFILL MIXTURE AND SOIL MIXES ARE TO BE INSTALLED PER THE SPECIFICATIONS.
- ALL FENCE AND HARDSCAPE INSTALLATIONS SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF ANY LANDSCAPE PLANTING, SEEDING OR LAWN.
- THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE INSTALLATION FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE AND QUALITY.
- REMOVE ALL TWINE, ROPE, WIRE, CONTAINERS, LABELS AND FLAGGING ON PLANTS BEFORE COMPLETION. DISPOSE OF ALL DEBRIS APPROPRIATELY AND SWEEP ALL SURROUNDING PAVEMENTS.
- ALL TREES AND HEDGES ARE NOT TO BE TRIMMED IN GEOMETRIC FORMS AND ARE TO BE LEFT IN A NATURAL HABIT.
- MULCHING:
 - AT THE TIME OF PLANTING, MULCH WITH NO MORE THAN 3" OF DOUBLE-SHREDDED HARDWOOD MULCH OF A NATURAL COLOR. TAKE CARE TO NOT PILE MULCH AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR. A GAP OF APPROXIMATELY 2 INCHES SHOULD BE LEFT BETWEEN THE MULCH AND THE TRUNK OF THE TREE TO AVOID MOUNDING ABOVE THE TRUNK FLARE.
 - ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE LIMITS OF CONSTRUCTION, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL DOUBLE-SHREDDED MULCH THAT WILL PREVENT SOIL EROSION AND CONTROL DUST.
 - AFTER INITIAL MULCH INSTALLATION, REPLENISH GARDEN BEDS WITH ADDITIONAL MULCH IN MID TO LATE SPRING, ONLY IN AREAS THAT ARE SHOWING BARE SOILS AND/OR COVERED IN WEEDS. REMOVE ALL UNWANTED PLANTS/WEEDS BEFORE DRESSING BED WITH MULCH.
- CHOOSING PLANT SPECIES:
 - ALL TREES THAT ARE SPECIFIED FOR THE PROJECT SHALL CONFORM TO THE 10-20-30 GUIDELINE TO REDUCE THE RISK OF MASSIVE TREE LOSS DUE TO PESTS. THE PLANTING SCHEDULE SHALL SPECIFY NO MORE THAN 10% OF ANY ONE SPECIES, 20% OF ANY ONE GENUS, OR 30% OF ANY ONE FAMILY.
 - NO PLANT SPECIES INCLUDED IN THE PLAN SHALL FALL UNDER THE LATEST RELEASED OF THE "LOWER HUDSON PRISM TIER 1 THROUGH 4 SPECIES INDEX", PREPARED BY LOWER HUDSON PARTNERSHIP FOR REGIONAL INVASIVE SPECIES MANAGEMENT OR "NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION (NYSDEP) PROHIBITED OR REGULATED SPECIES LIST", PREPARED BY NYSDEP. IF SPECIES SPECIFIED ON THE PLAN ARE INCLUDED THEREIN, THE PLANT MUST BE REPLACED WITH AN APPROVED ALTERNATIVE THAT IS (FIRST) NATIVE TO THE LOWER HUDSON REGION, (SECOND) NATIVE TO THE MID-ATLANTIC REGION, (THIRD) CULTIVAR OF A NATIVE IN THE AFOREMENTIONED REGIONS, OR (FOURTH) ALIEN, BUT NON-INVASIVE.
 - THE TOWN OF OSSINGEN ENCOURAGES THE INCLUSION OF SPECIES LISTED IN THE "NATIVE PLANT RESOURCE GUIDE", PUBLISHED BY THE TOWN OF MOUNT PLEASANT CONSERVATION ADVISORY COUNCIL.
- DELIVERY, HANDLING AND STORAGE:
 - TREES AND SHRUBS: SHALL NOT BE PRUNED PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. DO NOT BEND, BIND-TIE TREES IN A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. DO NOT DROP BALL AND BURLAPPED STOCK DURING DELIVERY OR HANDLING. PLASTIC, METAL WIRE BASKET AND/OR OTHER ROOT COVERINGS, WRAPPING AND BIND MATERIAL SHALL BE REMOVED ENTIRELY FROM THE PLANT MATERIAL AT TIME OF INSTALLATION.
 - STORE PLANT MATERIAL: IF INSTALLATION IS DELAYED MORE THAN 6 HOURS AFTER ARRIVAL TO SITE, THE CONTRACTOR SHALL SET ALL PLANT MATERIAL IN SHADE, PROTECTED FROM WEATHER, MECHANICAL DAMAGE, THEFT, AND DETERIORATION. PLANT SOIL COMPOST KEPT MOIST USING A WATERING TANK, HOSE OR OTHER SYSTEM UNTIL READY FOR PLANTING. ANY PACKAGED MATERIALS, SUCH AS BOXED PERENNIALS MUST BE OPENED, UNWRAPPED AND FREE AS TO NOT RESTRAIN AIR CIRCULATION AND WATERING WHILE WAITING TO BE INSTALLED.
 - NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
 - IF COMPACTION OCCURS DURING EARTHWORK PRIOR TO PLANT INSTALLATION, THE CONTRACTOR MUST HAVE THE SOIL SCARIFIED AND LOOSENED TO THE DEPTH OF COMPACTION OR 12-18", WHICHEVER IS DEEPEST, WITH A BACKHOE OR EQUIVALENT WITHOUT TAMPING SOILS.
 - ALL FINE GRADED AREAS SHALL BE HAND RAKED SMOOTH TO ELIMINATE ANY CLUMPS, ROCKS, STUMPS, TRASH AND/OR OTHER UNSIGHTLY DEBRIS PRIOR TO PLANTING OR MULCHING.
 - MAINTAIN SITE DRAINAGE DURING LANDSCAPE INSTALLATION.
- PLANT INSTALLATIONS:
 - BALL AND BURLAP TREES: SHALL HAVE A PLANTING HOLE A MINIMUM OF TWICE TO THREE TIMES THE WIDTH AND JUST AS DEEP AS THE ROOT BALL WITH SLOPED SIDES. TREES SHALL BE PLANTED WITH THE ROOT FLARE AT EXISTING GRADE. WIRE BASKETS, TWINE, BURLAP, NAILS AND TAGS SHALL BE REMOVED COMPLETELY WITHOUT COMPROMISING THE SOIL OF THE PLANT. IF SOILS ARE EXTREMELY LOOSE, LEAVE BOTTOM HALF OF BURLAP INTACT AND CUT AND REMOVE TOP HALF OF WIRE BASKET. BACKFILL SOIL JUST BELOW ROOT COLLAR. SOAK TREE PIT IMMEDIATELY WITH 5 GALLONS FOR EVERY INCH OF TRUNK DIAMETER.
 - CONTAINER PLANTS: SHALL HAVE THE CONTAINER AND TAGS REMOVE BEFORE INSTALLATION. ROOTS SHALL BE CUT THROUGH THE SURFACE IN AN "X" FORMATION AT BASE OF BALL AND CUT ALONG ALONG THE SIDES OF THE BALL AT LEAST SIX TIMES TO FREE ROOTS AND ENCOURAGE NEW GROWTH, ESPECIALLY IF IT IS ROOT BOUND. FINE ROOTS OF SMALLER CONTAINER PLANTS SHOULD BE TEASED DELICATELY WITH BY HAND OR WITH A HAND CULTIVATOR.
 - STAKING OF ANY INSTALLED TREE IS NOT NEEDED.
- SEEDING:
 - SEE "IRRIGATION NOTES" FOR SPECIFICATIONS ON WATERING. INSTALLED PLANTINGS SHALL BE IN PROPER HEALTH AND HAVE A 90% SURVIVAL RATE OVER THE FIRST TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE DEAD, DYING OR IN POOR HEALTH SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- INSTALLED PLANTINGS SHALL BE IN PROPER HEALTH AND HAVE A 90% SURVIVAL RATE OVER THE FIRST TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE DEAD, DYING OR IN POOR HEALTH SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.

PLANTING SOIL SPECIFICATIONS:

- REUSE "CLEAN FILL" STOCKPILE, CONSISTING ONLY OF SOILS, STONES, OR ROCKS 1/2" DIA. OR LESS, PHYSICAL PROPERTIES OF SANDY LOAM, WITH A PH BETWEEN 5-7, THAT HAS BEEN EXCAVATED ON SITE. USE OF "CLEAN FILL" FOR PLANTING BEDS MUST BE APPROVED BY LANDSCAPE ARCHITECT. VERIFY COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA AS INDICATED IN NOTES, PLANS AND SPECIFICATIONS.
- SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN OBTAINED FROM NATURALLY WELL-DRAINED SITES. DO NOT USE SOIL FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.
- SOIL AMENDMENT:
 - IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED; MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH #1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM; MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL. ANIMAL MANURE, NOR PEAT WILL BE USED AS AN ORGANIC SUPPLEMENT.
 - IF PROPOSED PLANTING BED IS IN A LOCATION OF A FORMER PAVED OR GRAVEL AREA, BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 30" AND BE BACKFILLED WITH A BOTTOM LAYER OF SANDY LOAM UNDER A LAYER OF PLANTING SOIL AND/OR TOP SOIL.
 - NO FERTILIZER APPLICATION SHALL BE USED DURING OR AFTER PLANT INSTALLATION.
 - COMPACTED SUBSOIL MAY BE LOOSENEED (AS NOTED IN GENERAL LANDSCAPE PLANTING NOTE #17), WHILE THOROUGHLY MIXING 6" OF COMPOST WITH IN-LIE.
- SOIL CONDITIONER AND MODIFICATION (PENDING RESULTS OF SOIL ANALYSIS):
 - ADJUST THE NUTRIENT LEVELS AS REQUIRED TO ENSURE ACCEPTABLE GROWING MEDIUM ONLY AFTER RECEIVING RESULTS FROM A SOIL ANALYSIS. ADJUSTMENTS CAN ONLY BE MINIMALLY MODIFIED EASILY WITH STANDARD TECHNIQUES.
 - MODIFY HEAVY CLAY OR SILT, BY ADDING COMPOST PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COURSE SAND MAY BE USED IF SAND CONTENT CAN REACH 60% OR MORE OF TOTAL MIX.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF TOTAL MIX.

IRRIGATION NOTES:

- EXACT PLACEMENT FOR ALL LAWN IRRIGATION HEADS SHALL BE ACCEPTED BY LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
- PROVIDE AN ALLOWANCE OF 5 PERCENT OF THE TOTAL LINEAL FOOTAGE OF IRRIGATION HEADS TO BE FURNISHED AND INSTALLED DURING THE PROGRESS OF THE WORK AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- WEATHER-BASED IRRIGATION SYSTEM CONTROLLERS SHALL INCLUDE FUNCTIONING SOIL MOISTURE SENSORS AND A RAIN SENSOR AS COMPONENTS OF THE SYSTEM.
 - IF WEATHER-BASED IRRIGATION SYSTEMS ARE NOT PROCURED, IRRIGATION SYSTEMS SHALL BE TURNED OFF DURING A 1" OR MORE RAIN EVENT WITHIN A 24-HOUR PERIOD.
- TEMPORARY IRRIGATION IS RECOMMENDED FOR ONE GROWING SEASONS OR UNTIL ESTABLISHED. NO PERMANENT IRRIGATION IS REQUIRED FOR NATIVE TREE, SHRUB, OR PERENNIAL PLANTINGS. IRRIGATION FOR AREAS TOO FAR FROM WATER SOURCE WILL INCLUDE MONITORING PLANTINGS AND USING A WATER TRUCK AS NEEDED IF DROUGHT CONDITIONS PERSIST.
- GENERAL IRRIGATION FOR NEW PLANTS ONLY NEED 1" OF WATER PER WEEK. SHRUBS AND TREES REQUIRED 5 GALLONS PER WEEK. THIS DOES NOT INCLUDE WETLAND OR OTHER WATER-LOVING PLANTS. REFER TO LANDSCAPE ARCHITECT FOR SPECIFIC WATER REQUIREMENTS FOR PLANTS THAT DO NOT FALL UNDER NORMAL WATERING CONDITIONS.
- RAINWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. NEW STRUCTURES SHALL BE ENCOURAGED TO INCLUDE ONE OR MORE RAINWATER CISTERNS AND A SYSTEM TO PROVIDE AT LEAST 75 PERCENT OF EXTERIOR IRRIGATION DURING NORMAL RAINFALL YEARS.

DEER PROTECTION NOTES:

- WHEN APPROPRIATE, USE PLANTS THAT ARE DEER-INTOLERANT OR DEER-RESISTANT ON THE LANDSCAPE PLAN. AS A GUIDE, REFER TO THE "LANDSCAPE PLANTS RATED BY RESISTANCE", PROVIDED BY RUTGERS NEW JERSEY AGRICULTURAL EXPERIMENT STATION (NJAES).
- USE HORIZONTAL FENCING BARRIERS OR WOVEN WIRE FENCING WITH A MINIMUM HEIGHT OF 6 FEET OR MORE.
- REPELLENTS:
 - USE SPRAYS THAT INCORPORATE ODOR AND TASTE REPELLENT IN ONE.
 - APPLY REPELLENTS EARLY IN SPRING ON THE PERIMETER OF THE GARDENS. RE-APPLY SPRAYS AFTER HEAVY RAINFALL.
 - SLOWLY WEAN OFF SPRAY APPLICATIONS TO DEER ONLY WHEN OCCASIONALLY REMINDER APPLICATIONS FOR THE REST OF THE YEAR. RESULTS VARY DEPENDING ON DEER POPULATION AND FOOD AVAILABILITY IN AREA.
- USE SOLAR-POWERED OR MOTION SENSOR DEVICE ON SCARECROWS TO ENGAGE SPRINKLER WHEN DEER APPROACH A "PROTECTED AREA".
- TREE PROTECTION:
 - USE PLASTIC OR MESH TREE GUARDS, OR CHICKEN WIRE FOR NEWLY PLANTED TREES.
 - TREE PROTECTION SHOULD BE MONITORED YEARLY TO DETERMINED NEED AND NECESSARY MAINTENANCE.

LANDSCAPE MAINTENANCE NOTES:

- MAINTENANCE CONTRACTOR TO MAINTAIN ALL PLANT MATERIALS AND IRRIGATION SYSTEM.
- LANDSCAPE CONTRACTOR OR MAINTENANCE SUBCONTRACTOR SHALL HAVE A FULL TIME EMPLOYEE ASSIGNED TO THE JOB AS FOREMAN FOR THE DURATION OF THE CONTRACT. FOREMAN SHALL HAVE A MINIMUM OF FOUR (4) YEARS EXPERIENCE IN LANDSCAPE MAINTENANCE SUPERVISION, WITH EXPERIENCE OR TRAINING IN TURF MANAGEMENT, ENTOMOLOGY, PEST CONTROL, SOILS, FERTILIZERS AND PLANT IDENTIFICATION. LANDSCAPE MAINTENANCE CONTRACTOR SHALL SUBMIT MAINTENANCE SCHEDULE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO START OF LANDSCAPE MAINTENANCE PERIOD.
- AT BEGINNING OF MAINTENANCE PERIOD, VISIT AND WALK SITE WITH LANDSCAPE ARCHITECT TO VERIFY SCOPE OF WORK AND UNDERSTAND EXISTING SITE CONDITIONS. NOTIFY LANDSCAPE ARCHITECT FIVE (5) DAYS PRIOR TO VISIT.
- STERILIZE ALL TOOLS USED PRIOR TO ANY MAINTENANCE WORK.
- NO USE OF ANTI-DESSICCANT IS PERMITTED ON ANY PLANT.
- WOUND DRESSINGS SUCH AS TAR, ASPHALT, PAINT OR OTHER PETROLEUM SOLVENTS ARE NOT PERMITTED TO BE USED ON TREES IN ANY CIRCUMSTANCE.
- PRUNING:
 - NO PRUNING IS NECESSARY FOR FORBS AND GRAMINOIDS. IF CUTTING BACK IS DESIRED FOR AESTHETIC REASONS, PERENNIALS MAY BE CUT IN APRIL TO MAY LEAVING BETWEEN 8-24" OF STALKS INTACT FOR STEM-NESTING INSECTS.
 - LATE-BLOOMING PERENNIALS SHOULD BE PRUNED 25-75% IN LATE SPRING FOR HEIGHT CONTROL.
 - HEDGES ARE NOT TO BE TRIMMED IN GEOMETRIC FORMS, BUT LEFT IN ITS NATURAL FORM.
 - NO PRUNING SHALL BE DONE AT THE TIME OF INSTALLATION, EXCEPT TO REMOVE DEAD OR BROKEN BRANCHES/STEMS.
 - ALL ADDITIONAL PRUNING SHOULD BE CONDUCTED BY A CERTIFIED ARBORIST TO DETERMINE PRUNING GOALS, BEST PRACTICES AND LONG TERM PLANNING. MAINTENANCE NEEDS NEED TO PROVIDING CLEARANCE, MAINTAINING HEALTH, RESTORATION FROM WEATHER DAMAGE, RISK MANAGEMENT, AND MANAGING WILDLIFE HABITAT.
 - ACCEPTABLE PRUNING OBJECTIVES INCLUDE BUT ARE NOT LIMITED TO PROVIDING CLEARANCE, MAINTAINING HEALTH, RESTORATION FROM WEATHER DAMAGE, RISK MANAGEMENT, AND MANAGING WILDLIFE HABITAT.
 - PRIOR TO PRUNING OF MATURE TREES, A WRITTEN PRUNING SPECIFICATION SHALL BE PRESENTED TO THE OWNER CLEARLY DEMONSTRATING PRUNING SYSTEMS (TYPE OF PRUNING), OBJECTIVES, LOCATION OF CUT, AMOUNT TO REMOVE, PLAN FOR DISPOSAL OF DEBRIS, TIME FRAME FOR COMPLETION OF WORK AND RE-INSPECTION OR PRUNING INTERVAL.
- REMOVE LEAVES FROM LAWN AND SHRED TO USE AS MULCH IN GARDEN BEDS. EXCESS LEAVES SHOULD BE COMPOSTED. DO NOT REMOVE LEAVES FROM GARDEN BEDS.
- DO NOT MOW CLOSE TO THE TRUNK OF NEW OR PREVIOUSLY EXISTING TREES. MAINTAIN A BUFFER OF 3 TO 5 FEET FROM THE BASE OF THE TRUNK TO EITHER BE MANAGED BY HAND OR PROTECTED WITH MULCH OR VEGETATION.
- FERTILIZER SHOULD NOT BE USED AT THE TIME OF PLANTING OR WITHIN THE FIRST YEAR OF INSTALLATION. ANY FUTURE USE MUST BE DOCUMENTED ACCORDING TO #3 AND THE ADDITIONAL REQUIREMENTS LISTED BELOW.
- LANDSCAPE CONTRACTOR SHALL REMOVE ALL DEBRIS AND PRODUCTS USED IN CONSTRUCTION AND MAINTENANCE PERIOD; MAKE CORRECTIONS AND ADDITIONS PER DIRECTION OF LANDSCAPE ARCHITECT PRIOR TO FINAL SUBMITTAL TO THE OWNER; SUBMIT LOG OF ALL FERTILIZERS AND HERBICIDES WITH DATES AND RATES APPLIED DURING MAINTENANCE PERIOD; LANDSCAPE ARCHITECT SHALL WALK SITE WITH CONTRACTOR AND NOTE ALL UNSATISFACTORY WORK. UNSATISFACTORY WORK SHALL BE CORRECTED WITHIN 10 CALENDAR DAYS.

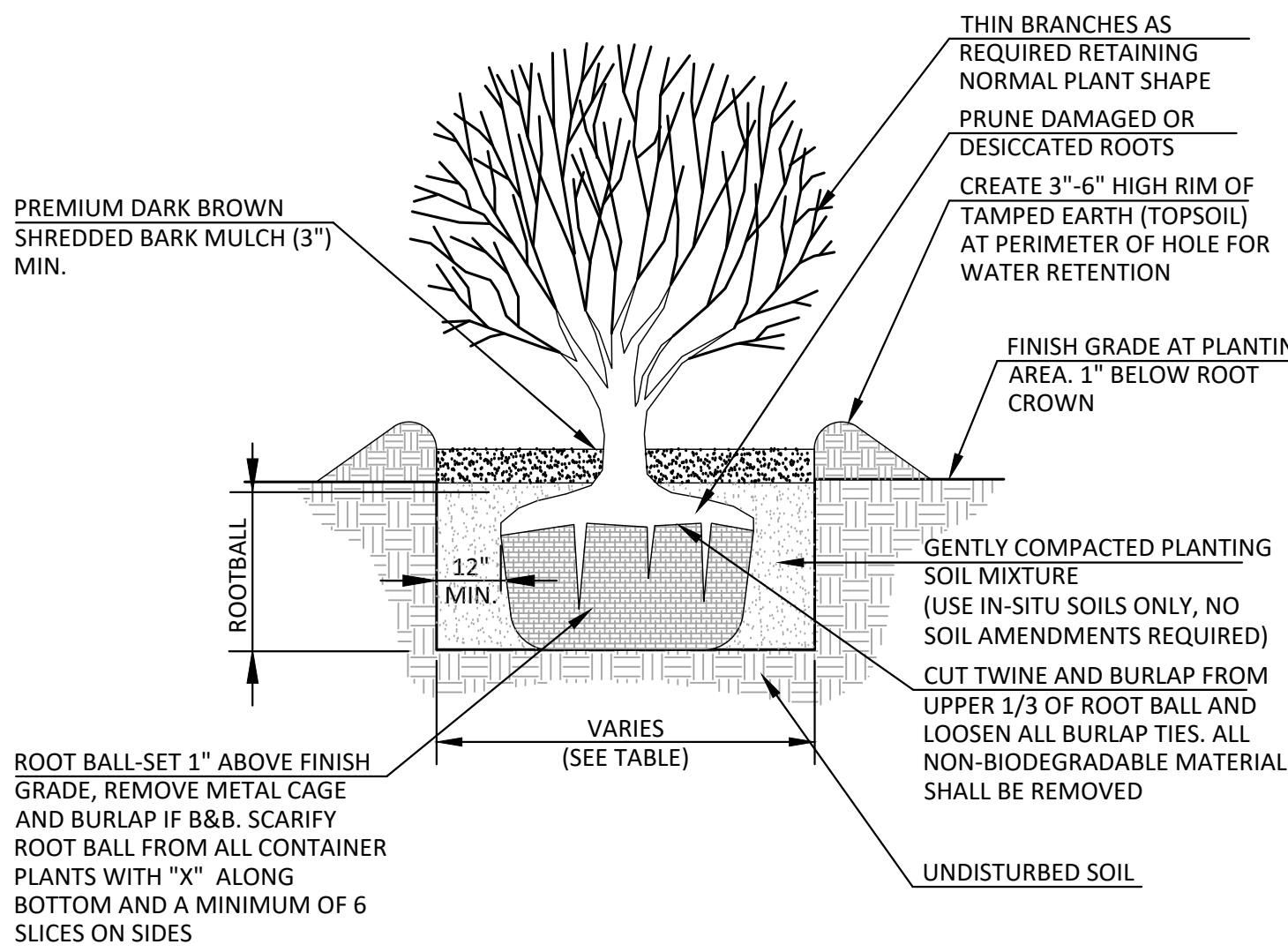
DEMOLITION NOTES:

- STOCKPILE EXISTING TOPSOIL, MULCH OR OTHER MATERIALS PER PLAN. TOPSOIL IS TO BE STOCKPILED FOR LEAST AMOUNT OF TIME POSSIBLE. IF STOCKPILE IS NEEDED FOR MORE THAN 6 MONTHS IT WILL NEED TO BE SUPPLEMENTED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER AS DETAILED IN "PLANTING SOIL" SPECIFICATIONS 3.3.1" AT TIME OF FINAL GRADING.
- TREE PROTECTION:
 - EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO ANY CONSTRUCTION OR DEMOLITION.
 - PROVIDE FENCING AT LOCATION SHOWN PRIOR TO START OF CONSTRUCTION. FENCING TO BE ACCEPTED BY LANDSCAPE ARCHITECT AND SHALL REMAIN IN PLACE UNTIL SITE WORK IS COMPLETED.
 - ALL WORK PERFORMED WITHIN THE "TREE PROTECTION ZONE" AND/OR THE DRIP LINE OF TREES DESIGNATED AS "EXISTING TREES TO REMAIN" SHALL BE HAND LABOR. NO ROOTS TWO INCHES OR LARGER IN CALIPER SHALL BE SEVERED WITHOUT REVIEW AND ACCEPTANCE BY ARBORIST.
 - IF TREE ROOTS NEED TO BE PRUNED OUTSIDE OF "TREE PROTECTION ZONE", THE CONTRACTOR SHALL USE A TRENCHER OR VIBRATORY PLOW TO A DEPTH OF 18". ROOTS OVER 1.5" DIA. SHALL HAVE A CLEAN CUT MADE BY A CLEAN SAW ON THE SURFACE OF THE ROOT.
- PROVIDE PROTECTION FOR ROOTS CUT DURING CONSTRUCTION OPERATIONS. DO NOT PAINT THE END OF CUT ROOTS. TEMPORARILY COVER EXPOSED ROOTS WITH WET BURLAP TO PREVENT DRYING OUT. COVER WITH EARTH AS SOON AS POSSIBLE. SIMILARLY PROTECT SHRUB AND GROUND COVER AREAS TO REMAIN.
- IF EXCAVATION IS NEEDED FOR INSTALLATION OF UNDERGROUND UTILITIES WHERE ROOTS ARE FOUND, THREAT THE LINES UNDERNEATH ROOTS AND LEAVE INTACT.
- DO NOT USE HEAVY EQUIPMENT OR CONDUCT ANY ACTIVITY THAT WILL CAUSE COMPACTION UNDER THE DRIP LINE OF EXISTING TREES TO REMAIN. DO NOT STORE EQUIPMENT OR MATERIALS UNDER THE DRIP LINE OR BEHIND PROTECTIVE FENCES.
- AT NO COST TO THE PROJECT OR OWNER, CONTRACTOR SHALL REPAIR OR REPLACE ALL VEGETATION INDICATED AS "EXISTING TO REMAIN" THAT IS DAMAGED BY CONSTRUCTION OPERATIONS. LANDSCAPE ARCHITECT OR ARBORIST WILL MAKE SURE DETERMINATION AS TO EXTENT OF DAMAGE. EMPLOY A LICENSED ARBORIST TO EVALUATE AND DETERMINE REPAIR NEEDS TO ALL DAMAGE TO TREES TO REMAIN.
- PROTECT ALL EXISTING SITE IMPROVEMENTS FROM DAMAGE. RESTORE DAMAGED ELEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO THE OWNERS, AT NO COST TO THE PROJECT.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE OF FINISH GRADE AND PROVIDE EROSION CONTROL MEASURES AS NECESSARY UNTIL FINAL PERMANENT COVER IS IN PLACE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR KNOWLEDGE OF ALL UNDERGROUND IMPROVEMENTS TO BE PROTECTED AND TAKE SOLE RESPONSIBILITY FOR DAMAGE TO ALL SUCH ITEMS. RESTORE DAMAGED UTILITIES TO ORIGINAL CONDITION, AS ACCEPTABLE TO GOVERNING AGENCIES, WHERE REQUIRED BY CODE.
- ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED ON A WEEKLY BASIS AND LEGALLY DISPOSED OF OFF-SITE, INCLUDING ALL MATERIAL FROM VEGETATION REMOVAL. NO ON-SITE BURNING IS PERMITTED.
- PLANTS TO BE RELOCATED WILL BE TAGGED IN THE FIELD BY THE LANDSCAPE ARCHITECT. SHRUBS TO REMAIN SHALL BE PROTECTED WITH FENCING SIMILAR TO THE TREE PROTECTIONS FENCING.
- TRANSPLANTED TREES AND SHRUBS SHALL BE PROVIDED WITH IRRIGATION AND PART SHADE. IRRIGATE TRANSPLANTS WEEKLY AT A MINIMUM BY THOROUGHLY SOAKING THE ROOT BALL. ARBORIST MAY INCREASE IRRIGATION SCHEDULE AS NEEDED.
- ALL EXISTING CONCRETE, ROCK OR PAVING THAT IS APPROVED BY ENGINEER FOR FILL OR BASE ROCK OF FUTURE CONSTRUCTION SHALL BE KEPT AND STORED ON SITE UNTIL NEEDED; PROTECT FROM CONTAMINATION.
- ALL RETAINING WALLS IDENTIFIED FOR DEMOLITION SHALL INCLUDE REMOVAL OF FOOTINGS.
- TREE REMOVAL SHALL INCLUDE STUMP GRINDING AND/OR REMOVAL OF MAJOR ROOT SYSTEMS. STUMPS ARE TO REMAIN ON SLOPES OF 25% OR GREATER.
- IRRIGATION DEMOLITION:
 - REMOVE (E) IRRIGATION VALVES AND VALVE BOXES (DO NOT BURY).
 - DISCONNECT MAIN LINE FROM WATER SERVICE. IF DEEPER THAN 12", BURY, IF SHALLOWER THAN 12" REMOVE.
 - REMOVE ALL SPRINKLER HEADS AND RISERS; REMOVE LATERAL LINES.
 - REMOVE QUICK COUPLERS AND HOSE BIRS. RECYCLE IF POSSIBLE.
- DEMOLITION OF STRUCTURES IS NOT INCLUDED IN LANDSCAPE SCOPE OF WORK. DEMOLITION OF ALL STRUCTURES SHALL BE BY OTHERS AS DETERMINED BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL COORDINATE REMOVAL OF ALL STRUCTURES, SECURE TERMINATION AND DISCONNECTION OF ALL UTILITIES AND SECURE CITY PERMITS.
- WHERE CONFLICTS MAY OCCUR, NEW SITE DEVELOPMENT DESIGN TAKES PRECEDENCE OVER EXISTING ELEMENTS. SUCH CONFLICTING ELEMENTS SHALL BE REMOVED TO ALLOW FOR NEW CONSTRUCTION.
- NEW LOCATION FOR ALL TRANSPLANTED PLANT MATERIAL TO BE DETERMINED BY LANDSCAPE ARCHITECT IN FIELD.

LAYOUT NOTES:

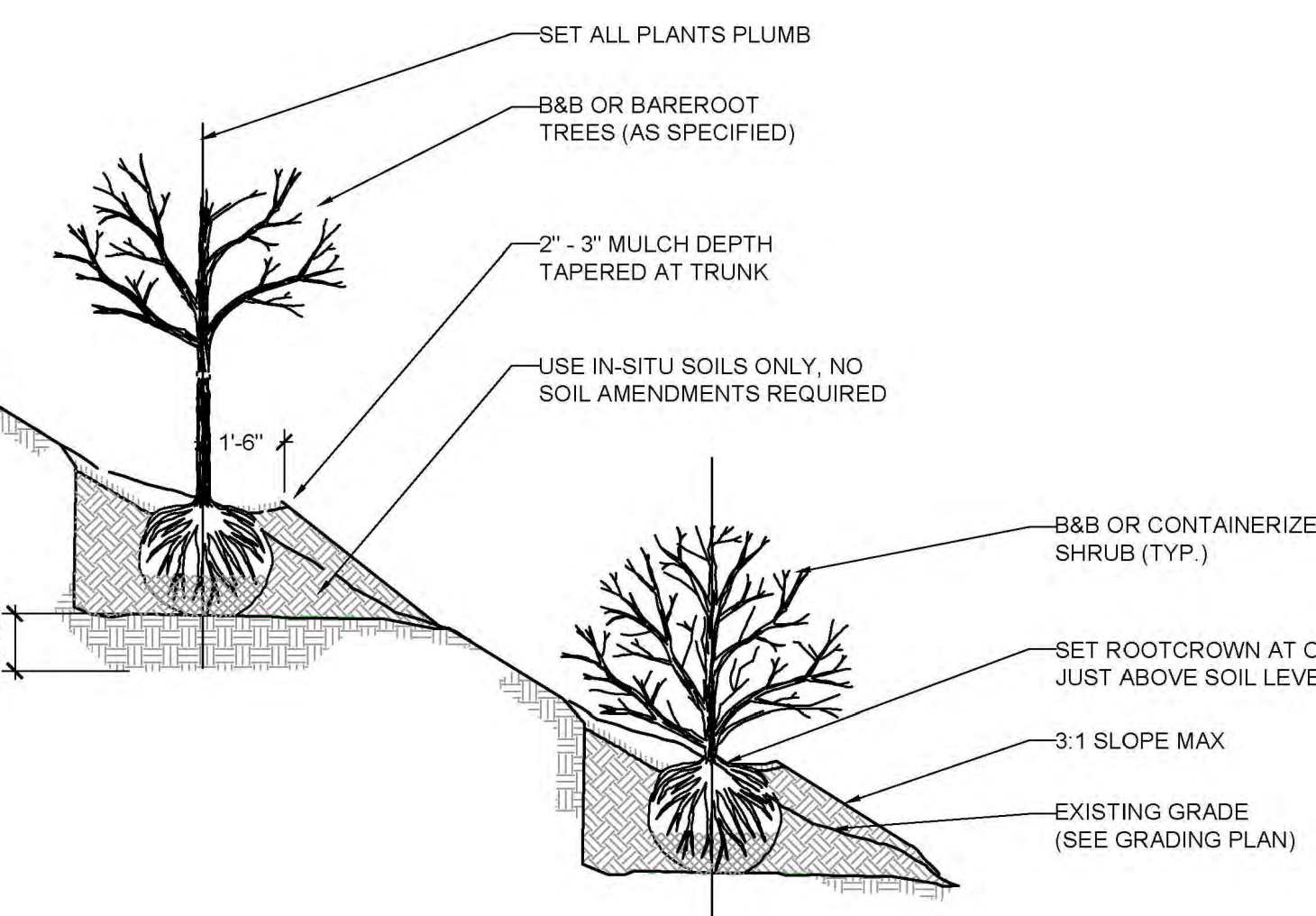
- VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
- VERIFY LOCATION OF ALL UTILITIES, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT, PIPING, DRAINAGE STRUCTURES, LIGHTING, AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEER'S DRAWINGS.
- WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEER'S DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCHMARKS AND BUILDING SETBACKS.
- TAKE ALL DIMENSIONS FROM CENTER OF CURB, WALL OR BUILDING, OR TO CENTERLINE OF BUILDING COLUMNS OR TREES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS CALLED OUT AS "EQUAL" OR "EQ" ARE EQUIDISTANT MEASUREMENTS BETWEEN THE REFERENCE POINTS SHOWN.
- ALL ITEMS DESIGNATED AS "SIM" OR "TYP" ARE TO BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED, WITH MINOR ADJUSTMENT FOR SPECIFIC CONDITION.
- ALL ANGLES ARE 90 DEGREES AND ALL LINES ARE TO BE HELD PARALLEL UNLESS OTHERWISE NOTED ON THE DRAWINGS. MAINTAIN HORIZONTAL ALIGNMENT FOR ALL ADJACENT ELEMENTS SO REFERENCED ON THE DRAWINGS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE APPARENT ON DRAWINGS. DO NOT SCALE FROM DRAWINGS. SEE ENLARGED PLANS AND SPECIFIC DETAILS FOR ADDITIONAL INFORMATION.
- INDIVIDUAL NOTES AND SPECIFIC DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND GENERIC DETAILS.

SHRUB PLANTING DETAIL (N.T.S.)

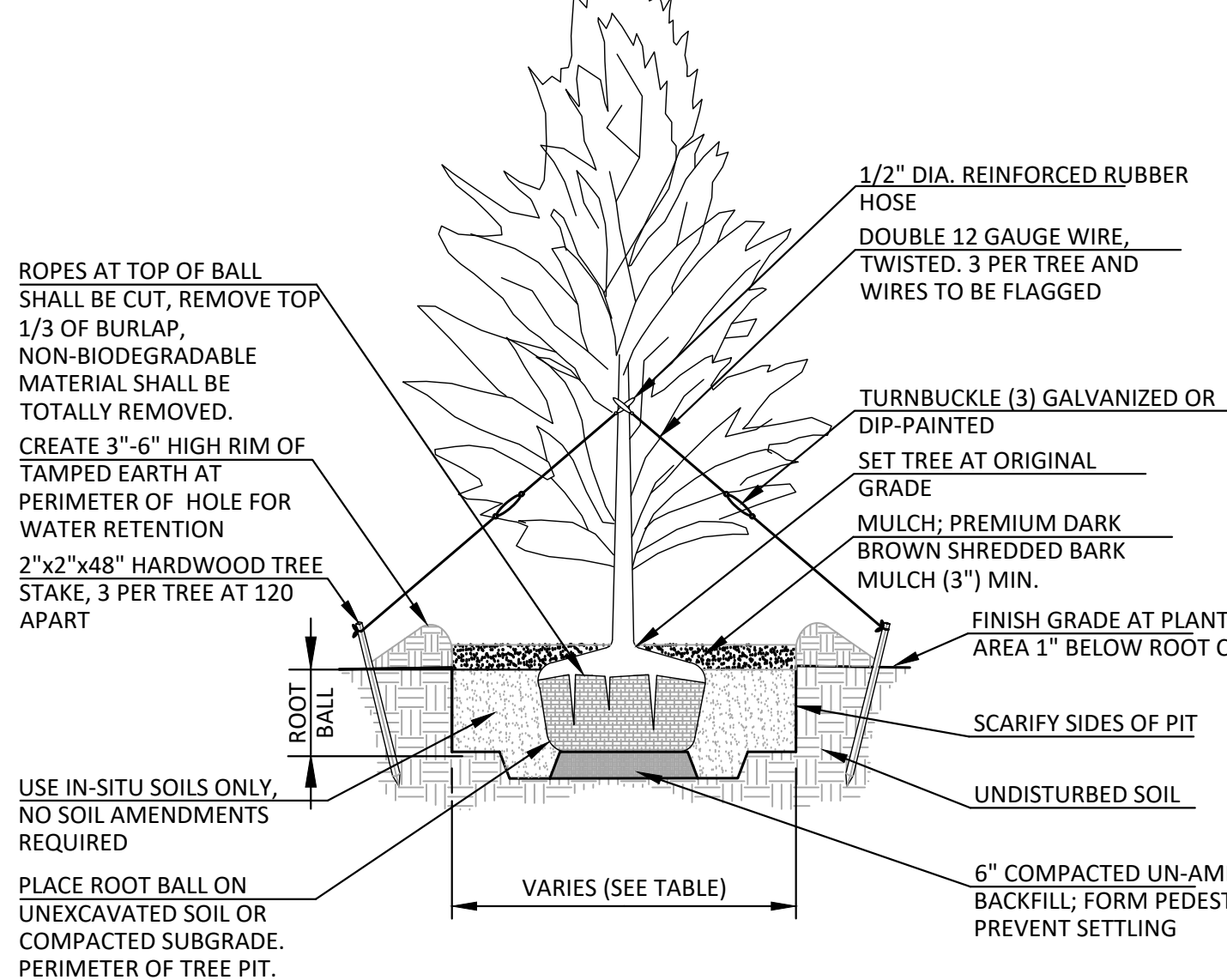


HOLE DIAMETER TABLE	
ROOT BALL SIZE	HOLE DIAMETER
LESS THAN 4" Ø	2X BALL Ø
4'-5" Ø	1 3/4X BALL Ø
GREATER THAN 5" Ø	1 1/2X BALL Ø

PLANTING INSTALLATION ON SLOPE DETAIL (N.T.S.)

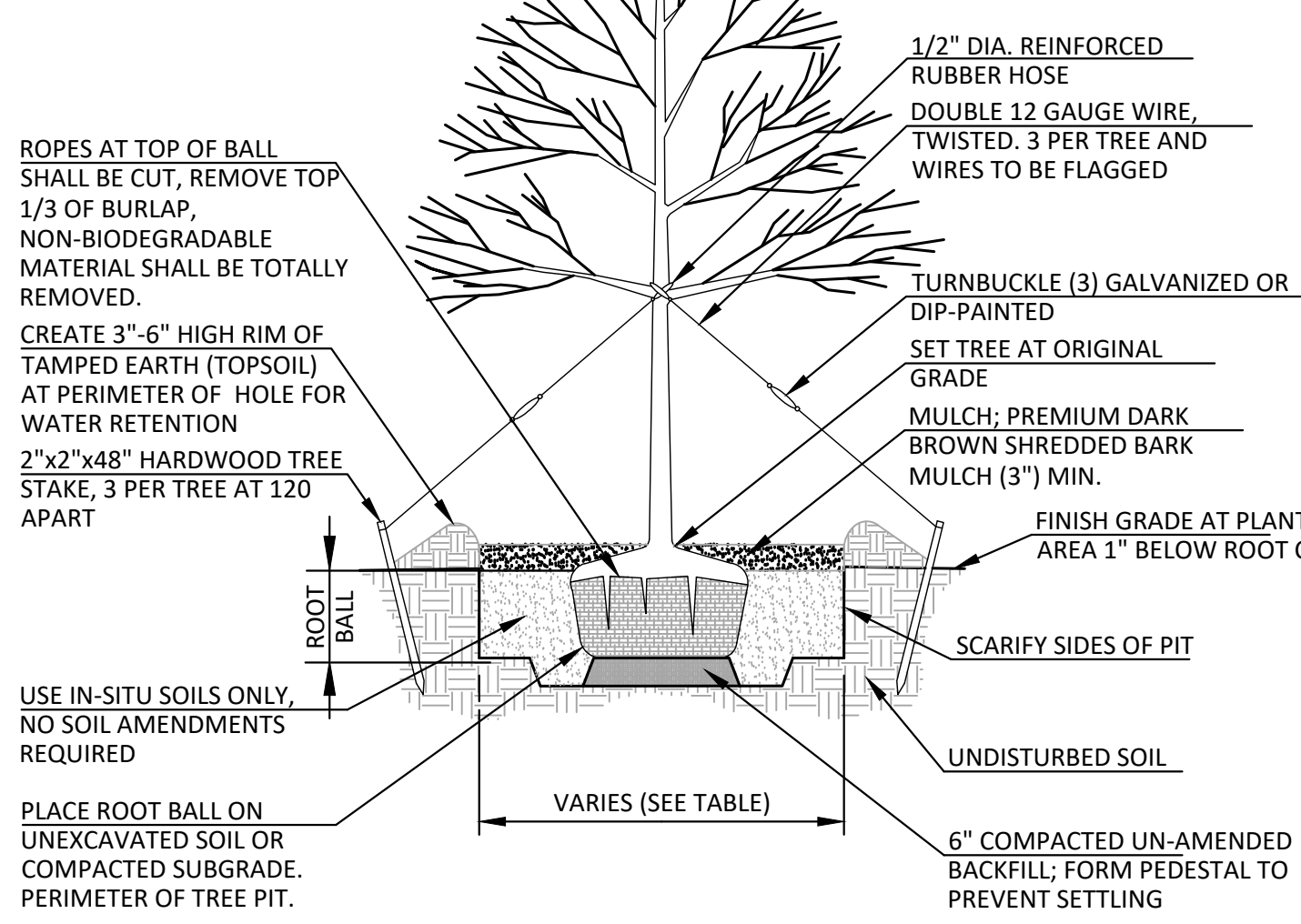


EVERGREEN TREE PLANTING DETAIL (N.T.S.)



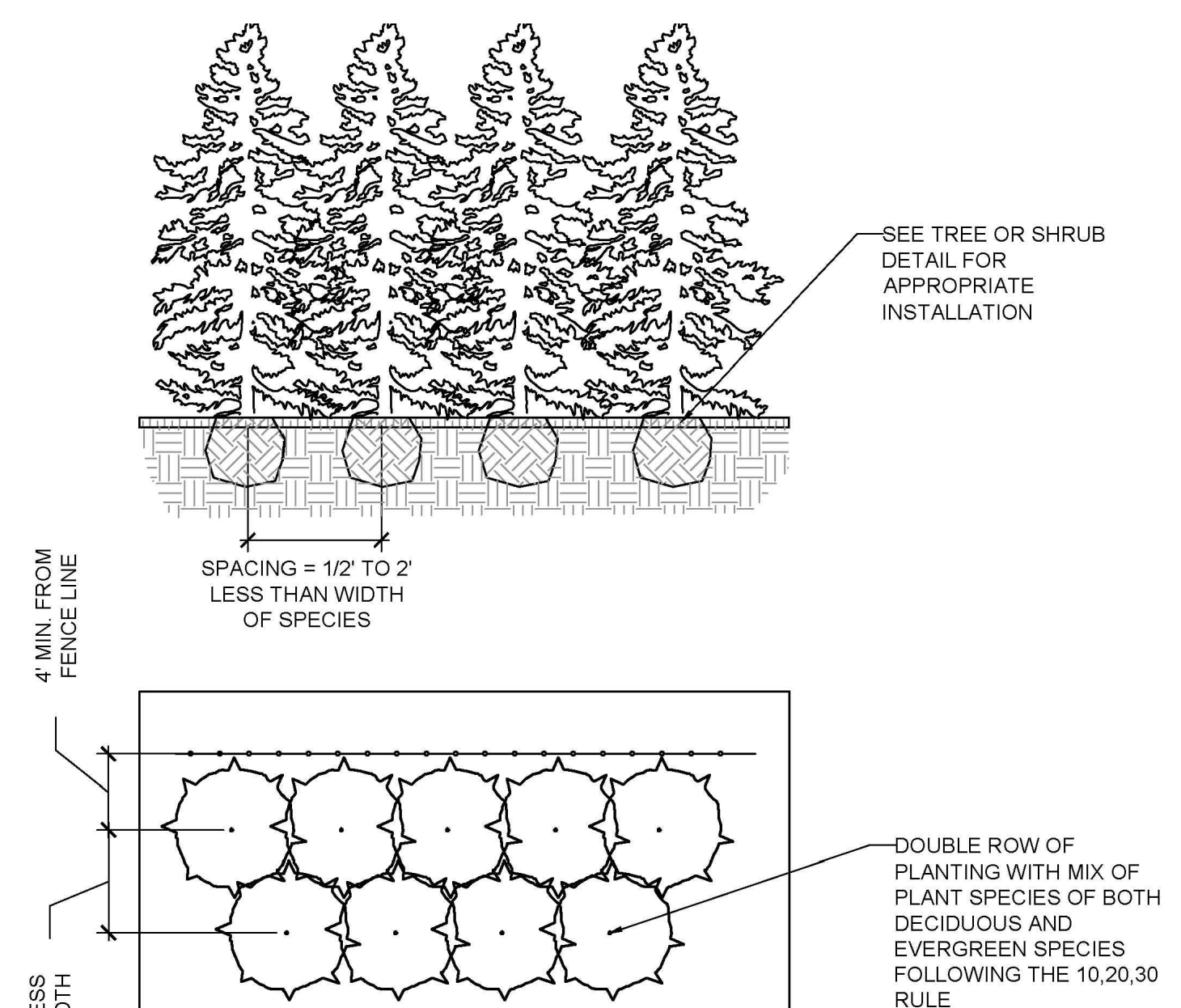
HOLE DIAMETER TABLE	
ROOT BALL SIZE	HOLE DIAMETER
LESS THAN 4" Ø	2X BALL Ø
4'-5" Ø	1 3/4X BALL Ø
GREATER THAN 5" Ø	1 1/2X BALL Ø

DECIDUOUS TREE PLANTING DETAIL (N.T.S.)



HOLE DIAMETER TABLE	
ROOT BALL SIZE	HOLE DIAMETER
LESS THAN 4" Ø	2X BALL Ø
4'-5" Ø	1 3/4X BALL Ø
GREATER THAN 5" Ø	1 1/2X BALL Ø

PLANT SCREENING SPACING DETAIL (N.T.S.)



LANDSCAPING DETAILS AND NOTES

D'ONOFRIO RESIDENCE

TOWN OF OSSINGEN

WESTCHESTER COUNTY, NEW YORK

KSCJ

CONSULTING

RELLAND SESSONS CEMELIE JOHANNSSON

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE

SITE & ENVIRONMENTAL PLANNING

500 MAIN STREET

ARMONK, N.Y. 10504

P: (914) 273-2323

F: (914) 273-2329

WWW.KSCJCONSULTING.COM

STATE OF NEW YORK

LANDSCAPE ARCHITECT

NO. 00300

STATE OF NEW YORK

LANDSCAPE ARCHITECT

NO. 00300

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PROJECT I.D.:

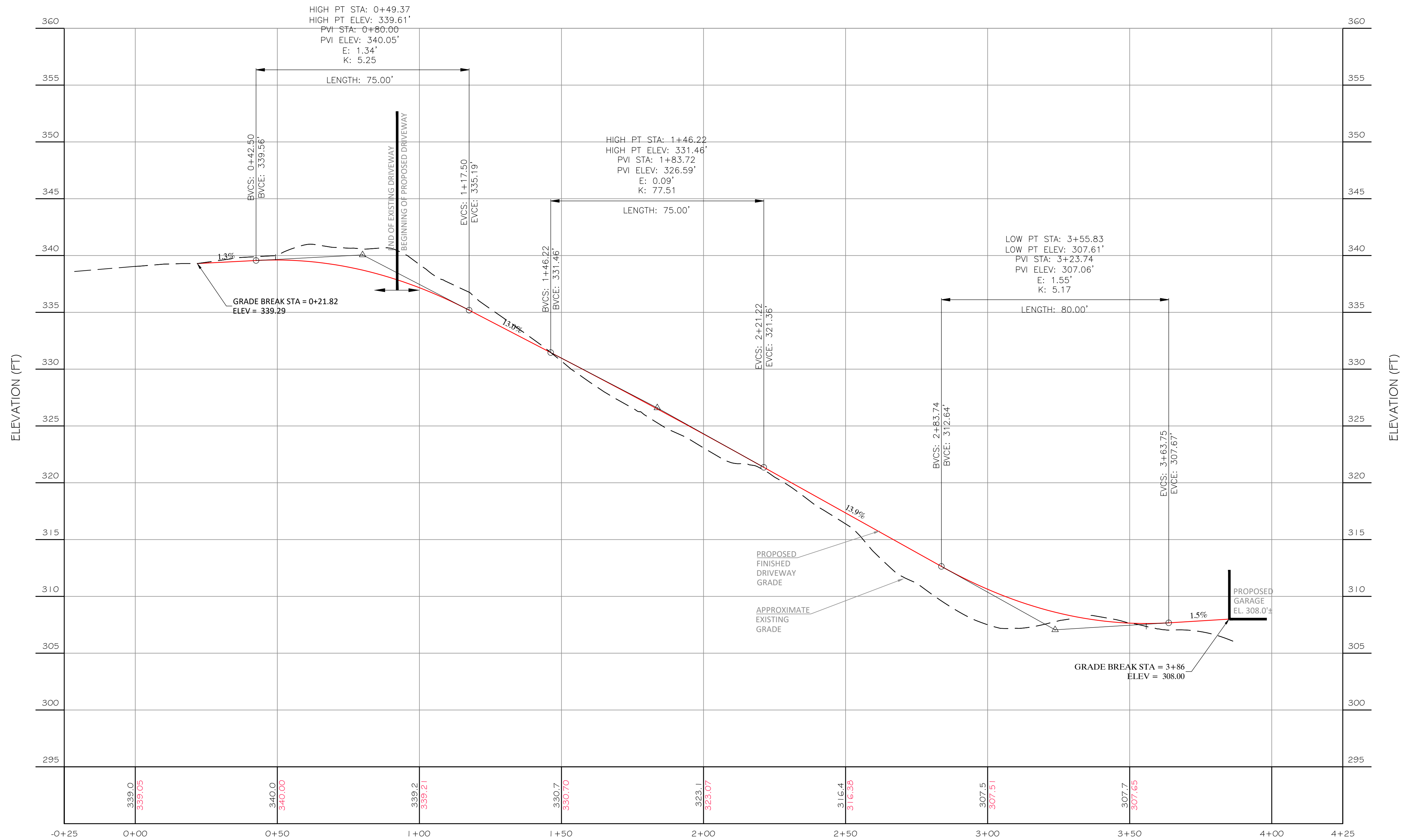
C-220

DATE:

MARCH 07, 2024

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW

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PROPOSED DRIVEWAY PROFILE

PROFILE SCALE:
HORIZ: 1"=20'
VERT: 1"=5'

GENERAL NOTE:

- SURVEY INFORMATION AND TOPOGRAPHY IS BASED UPON THE MAP PREPARED BY WARD CARPENTERS ENGINEERS, INC., LAST DATED, NOVEMBER 13, 2013 AND SUPPLEMENTED BY ADDITIONAL TOPOGRAPHY PROVIDED BY THOMAS C. MERRITT'S LAND SURVEYORS, P.C.
- NONE OF THE IMPROVEMENTS APPROVED BY THE PLANNING BOARD SHALL PERMANENTLY OR UNNECESSARILY IMPEDE ACCESS TO ANY OF THE LOTS IMMEDIATELY ADJACENT TO HILLCREST DRIVE.

DRIVEWAY PROFILE

D'ONOFRIO RESIDENCE

TOWN OF OSSING

WESTCHESTER COUNTY, NEW YORK



CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
SITE & ENVIRONMENTAL
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1.	APRIL 01, 2024 TOWN COMMENTS

C-300

PROJECT I.D.:

OS50NOFRIO100

DATE:

MARCH 07, 2024

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THE CONTRACTOR SHALL CALL FOR A UTILITY
MARK-OUT AT LEAST 2 DAYS BUT NO MORE
THAN 10 DAYS PRIOR TO ANY EXCAVATION.

- NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION
- OSSINING TOWN CODE CHAPTER 168, "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL"

STABILIZED CONSTRUCTION ENTRANCE

MAINTENANCE/INSPECTION

SILT FENCE

MAINTENANCE/INSPECTION

INLET PROTECTION

MAINTENANCE/INSPECTION

TREE PROTECTION

MAINTENANCE/INSPECTION

RIP-RAP OUTLET PROTECTION

MAINTENANCE/INSPECTION

SOIL/MATERIAL STOCKPILING

MAINTENANCE/INSPECTION

SURFACE STABILIZATION

GENERAL LAND GRADING

DUST CONTROL

CRITICAL AREA SEEDING

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF NEXT BUSINESS DAY OR COMPLETED WITHIN SEVEN (7) CALENDAR DAYS.

Call 811 before you dig

THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

1.	1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.	POSTS: STEEL EITHER T OR U TYPE HARDWOOD	OR 2.
2.	2. WHEN TWO SECTIONS OF FILTER CLOTH ADJACENT EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.	FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL	
3.	3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.	PREFABRICATED UNIT: GEOFAB, ENVIROFORCE, OR APPROVED EQUAL	

The diagram consists of two parts: a **PROFILE** view at the top and a **PLAN VIEW** at the bottom.

PROFILE View: This side elevation shows the filter cloth (hatched area) being installed over a 6" MIN. deep trench. The filter cloth is secured with a 3' MIN. overlap and a 3' high mound. The slope of the filter cloth is indicated as 5:1. The existing pavement is shown on the right, and a "MOUNTABLE BERM (OPTIONAL)" is indicated at the edge of the filter cloth. The filter cloth is labeled "EXISTING GROUND" and "FILTER CLOTH".

PLAN View: This top-down view shows the filter cloth (hatched area) being installed over a 12' MIN. wide trench. The filter cloth is secured with a 12' MIN. overlap. The existing pavement is shown on the right, and the filter cloth is labeled "EXISTING GROUND" and "EXISTING PAVEMENT".

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - 30 FEET.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PERMITTED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 3:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SUGGESTED CONSTRUCTION SEQUENCE AND PHASING

OUTLINED BELOW IS A BRIEF LISTING OF THE SUGGESTED CONSTRUCTION SEQUENCING FOR THE PROJECT.

FINAL STABILIZATION, AS DEFINED BY THE NYSDEC SPDES GENERAL PERMIT GP-0-20-001, IS THE ESTABLISHMENT OF A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE PERVIOUS SURFACE ONCE ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED. COVER CAN BE VEGETATIVE (E.G., GRASS, TREES, SEED AND MULCH, SHRUBS OR TURF) OR NON-VEGETATIVE (E.G., GEOTEXTILES, RIP-RAP OR GABIONS, PAVEMENT, ROOFS, ETC.).

THE APPLICANT SHALL NOTIFY THE TOWN OF OSSINING ENFORCEMENT OFFICIAL AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING AS REQUIRED BY THE STORMWATER MANAGEMENT OFFICER:

- START OF CONSTRUCTION.
- INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES.
- COMPLETION OF SITE CLEARING.
- INSTALLATION OF CONSTRUCTED STORMWATER IMPROVEMENTS
- COMPLETION OF ROUGH GRADING.
- COMPLETION OF FINAL GRADING.
- CLOSE OF THE CONSTRUCTION SEASON.
- COMPLETION OF FINAL LANDSCAPING.
- SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC AREAS.

GENERAL CONSTRUCTION SEQUENCING

- OWNER/OPERATOR TO OBTAIN ALL NECESSARY PERMITS/APPROVALS.
- OWNER/OPERATOR TO CONDUCT A PRE-CONSTRUCTION MEETING.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCE AND TREE PROTECTION IN LOCATIONS AS INDICATED ON THE PLAN.
- COMMENCE CLEARING AND GRUBBING FOR PROPOSED DRIVEWAY, DWELLING, SS&S, STORMWATER PRACTICES, ETC.
- COMMENCE CONSTRUCTION OF DRIVEWAY AND DWELLING.
- INSTALL STORMWATER INFILTRATION SYSTEMS, KEEP THE SYSTEMS OFFLINE UNTIL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
- INSTALL SUBSURFACE SEWAGE DISPOSAL SYSTEM.
- PROVIDE DUST CONTROL DURING CONSTRUCTION AS NECESSARY.
- FINAL GRADE DRIVEWAY.
- RE-VEGETATE ALL DISTURBED AREAS.
- FINAL STABILIZE ALL DISTURBED AREAS.
- PUT STORMWATER SYSTEMS ONLINE ONCE CONTRIBUTING AREAS ARE STABILIZED.
- REMOVE SILT FENCE AND ALL EROSION CONTROL PARAMETERS UPON SITE'S FINAL STABILIZATION.

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF NEXT BUSINESS DAY OR COMPLETED WITHIN SEVEN (7) CALENDAR DAYS.

Diagram illustrating a silt fence installation. A pile of material is shown, stabilized by vegetation or cover. The slope of the pile is indicated as 2:1 or less. A silt fence barrier is positioned around the base of the pile. The diagram also shows the minimum slope required for the installation.

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.

NOTE: THIS DIMENSION TO BE EQUAL TO DRILLPIPE OF TREE 5' MIN.

4" X 4" WOOD OR METAL POST

SNOW FENCE TO FACE OUT ON ALL SIDES

SEE NOTE

8" MAX.

"X" (VARIES)

DIAPHRANE

SNOW FENCE

DIAPHRANE

TREE TO BE SAVED

6" MIN.

2" MIN.

GRADE

CRITICAL ROOT ZONE A (DIA. = 1/2X)

DRIP LINE ZONE B (DIA. = X)

FEEDER ROOT ZONE C (DIA. = 2X)

FENCING/ROOT PROTECTION

CONSTRUCTION/FENCING TO BE PROVIDED AND MAINTAINED AT DRILLPIPE ENGINEER'S APPROVAL REQUIRED FOR USE/ACCESS WITHIN ZONE B. PERMISSION FOR USE/ACCESS REQUIRES SURFACE PROTECTION* (SEE BELOW) FOR ALL UNFENCED, UNPAVED SURFACES WITHIN ZONE B.

*SURFACE PROTECTION MEASURES

1. MULCH LAYER, 6" DEPTH
2. 3/4" TV WOOD
3. STEEL PLATES

TRENCHING/EXCAVATION

ZONE A (CRITICAL ROOT ZONE)

1. NO DISTURBANCE ALLOWED WITHOUT SITE-SPECIFIC INSPECTION AND APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE
2. SEVERANCE OF ROOTS LARGER THAN 2" DIA. REQUIRE ENGINEER'S APPROVAL
3. TUNNELING REQUIRED TO INSTALL LINES 3'-0" BELOW GRADE OR DEEPER

ZONE B (DRILLPIPE)

1. OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEERS APPROVAL SURFACE PROTECTION* (SEE ABOVE) MEASURES REQUIRED
2. TRENCHING ALLOWED AS FOLLOWS:
 - 2.1 EXCAVATION BY HAND OR WITH HAND DRIVEN TRENCHER MAY BE REQUIRED
 - 2.2 LIMIT TRENCH WIDTH, DO NOT DISTURB ZONE A
 - 2.3 MAINTAIN 2/3 OR MORE OF ZONE B IN UNDISTURBED CONDITION
3. TUNNELING MAY BE REQUIRED FOR TRENCHES DEEPER THAN 3'-0"

ZONE C (FEEDER ROOT ZONE)

1. OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEERS APPROVAL SURFACE PROTECTION* MEASURES MAY BE REQUIRED
2. TRENCHING WITH HEAVY EQUIPMENT ALLOWED AS FOLLOWS:
 - 2.1 MINIMIZE TRENCH WIDTH
 - 2.2 MAINTAIN 2/3 OR MORE OF ZONE C IN UNDISTURBED

2" X 4" WOOD FRAME

1" X 6" MIN.

FILTER FABRIC

STAKE

GATHER EXCESS AT CORNERS

BURY 1' MIN.

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA = 1 ACRE

DETAIL 1 TERMINAL FOLD

4" MIN.

3" MIN.

TAMP SOIL FIRMLY

STAPLE

JUTE MESH

EROSION CONTROL MATTING

EXCELSIOR BLANKET

DETAIL 2 JUNCTION SLOT

12" MIN.

6" - 12"

STAPLES

JUTE MESH

EROSION CONTROL MATTING

EXCELSIOR BLANKET

DETAIL 3 ANCHOR SLOT

12" MIN.

6" - 12"

STAPLES

JUTE MESH

EROSION CONTROL MATTING

EXCELSIOR BLANKET

ANCHOR SLOT

DETAIL 4 LAP SLOT

12" MIN.

6" - 12"

STAPLE

JUTE MESH

EROSION CONTROL MATTING

EXCELSIOR BLANKET

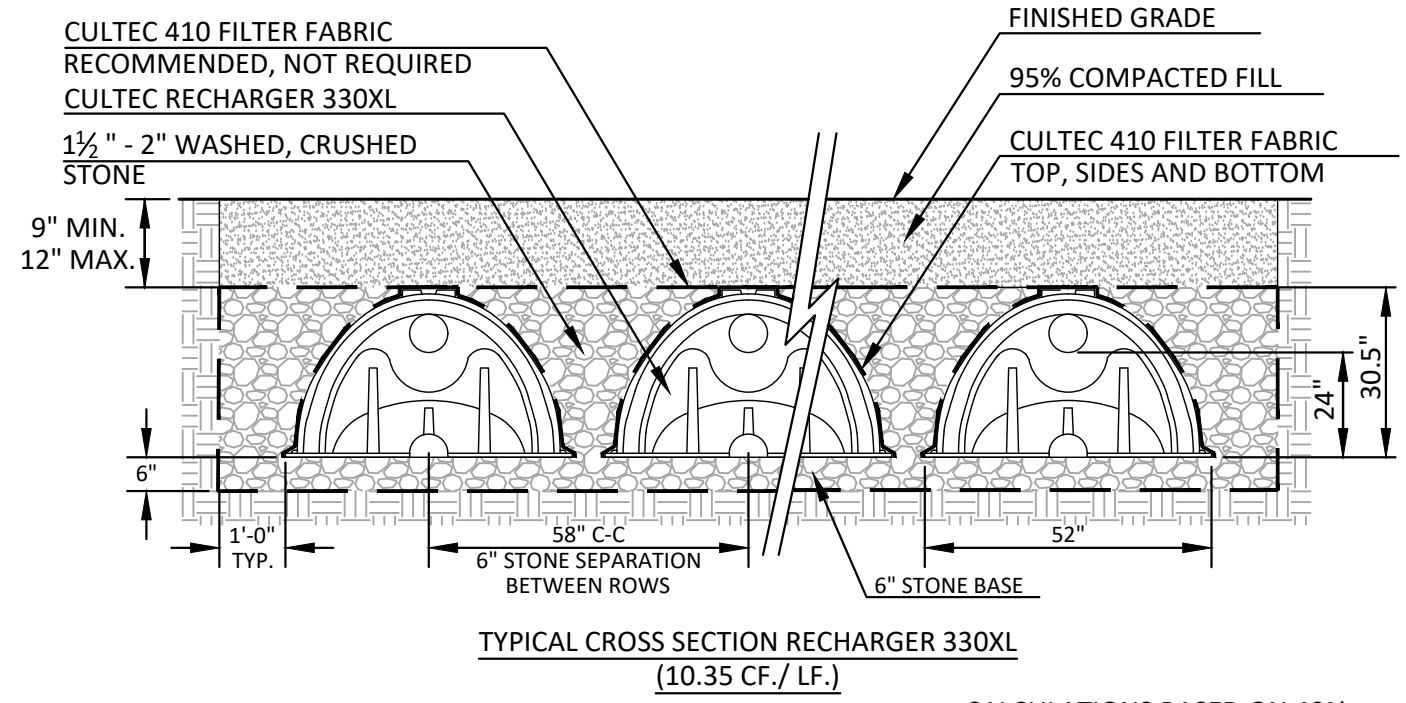
ANCHOR SLOT

CONSTRUCTION SPECIFICATIONS

1. APPLY TO FLOORS GREATER THAN 3'11" OR WHERE NECESSARY TO AID IN ESTABLISHING VEGETATION.
2. APPLY FERTILIZER, LIME AND SEED PRIOR TO PLACING MATTING.
3. STAPLES ARE TO BE PLACED ALTERNATELY, IN COLUMNS APPROXIMATELY 2' APART AND IN ROWS APPROXIMATELY 3' APART. APPROXIMATELY 175 STAPLES ARE REQUIRED PER 4' X 25' ROLL OF MATERIAL. AND 125 STAPLES ARE REQUIRED PER 4' X 150' ROLL OF MATERIAL.
4. DISTURBED AREAS SHALL BE SMOOTHLY GRADED. EROSION CONTROL MATERIAL SHALL BE PLACED LOOSELY OVER GRUND SURFACE. DO NOT STRETCH.
5. ALL TERMINAL ENDS AND TRANSVERSE LAPS SHALL BE STAPLED AT APPROXIMATELY 12" INTERVALS.

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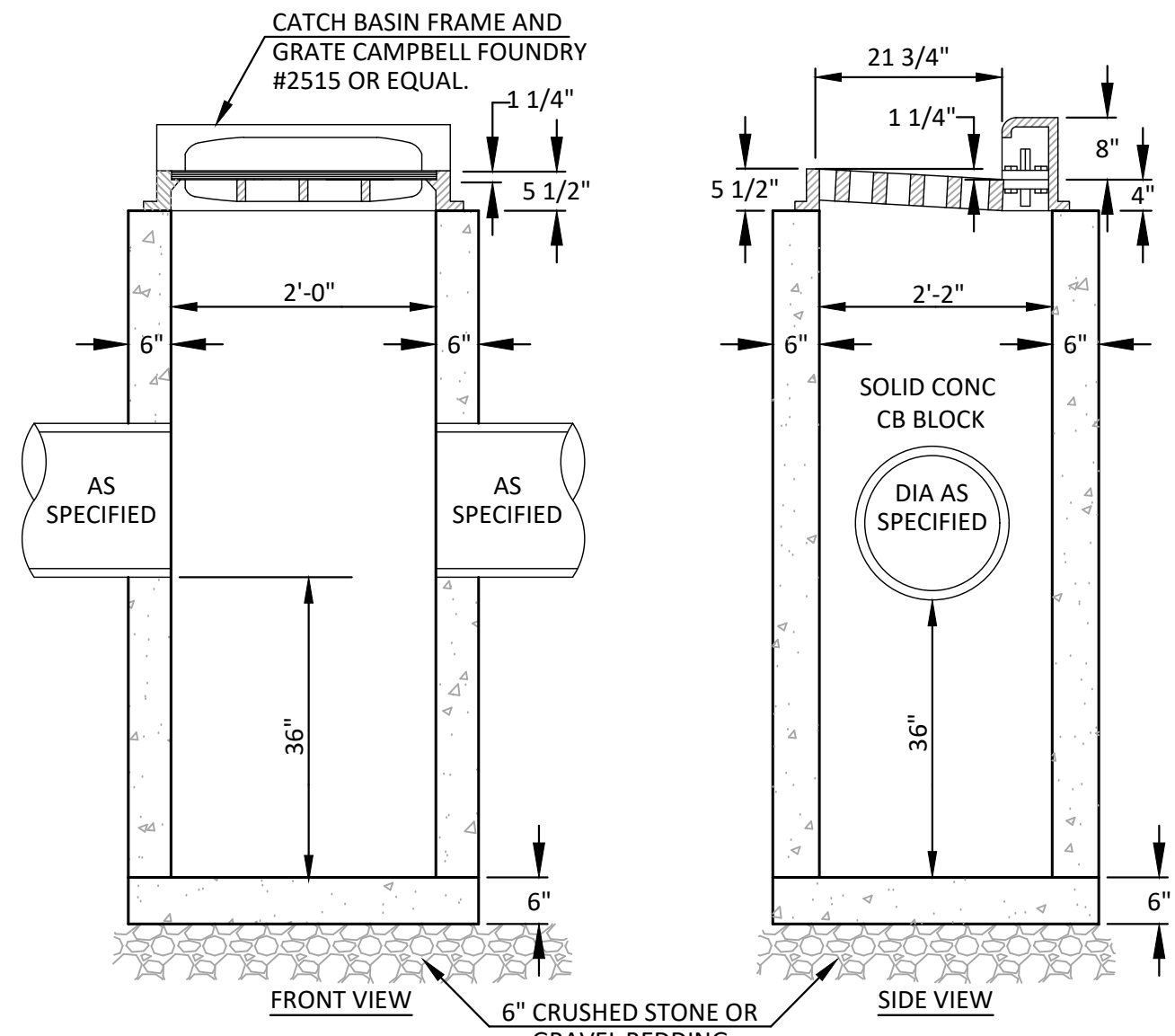
CULTEC RECHARGER 330 XL DETAIL (N.T.S.)



GENERAL NOTES:
RECHARGER™ 330 BY CULTEC, INC. OF BROOKFIELD, CT. ALL RECHARGER™ 330 CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO MANUFACTURER, CULTEC, INC.'S RECOMMENDED INSTALLATION GUIDELINES. ALL RECHARGER™ 330XL H-20 HEAVY DUTY UNITS ARE MARKED WITH A 4" STRIPE ALONG THE LENGTH OF THE CHAMBER.

CALCULATIONS BASED ON 40% STONE VOID

CATCH BASIN DETAIL (N.T.S.)

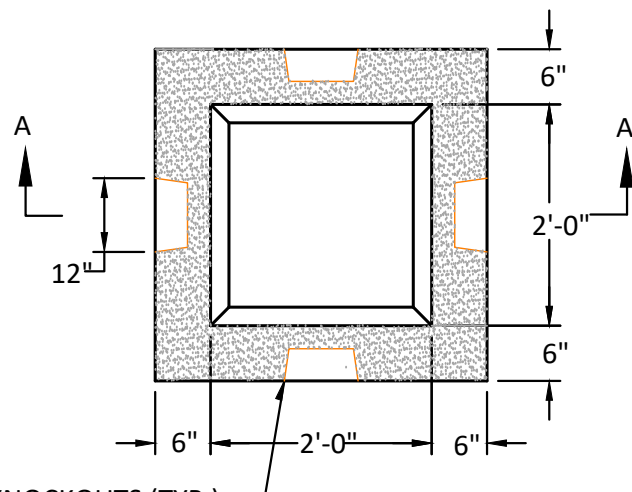


NOTE:
TYPE A CATCH BASIN AS SHOWN HERE ON WILL BE UTILIZED WHERE THE NEED FOR A DROP INLET EXISTS. THE CURB TYPE CASTING SHALL BE SUBSTITUTED WITH CAMPBELL FOUNDRY FRAME AND GRATE # 3433 OR EQUAL.

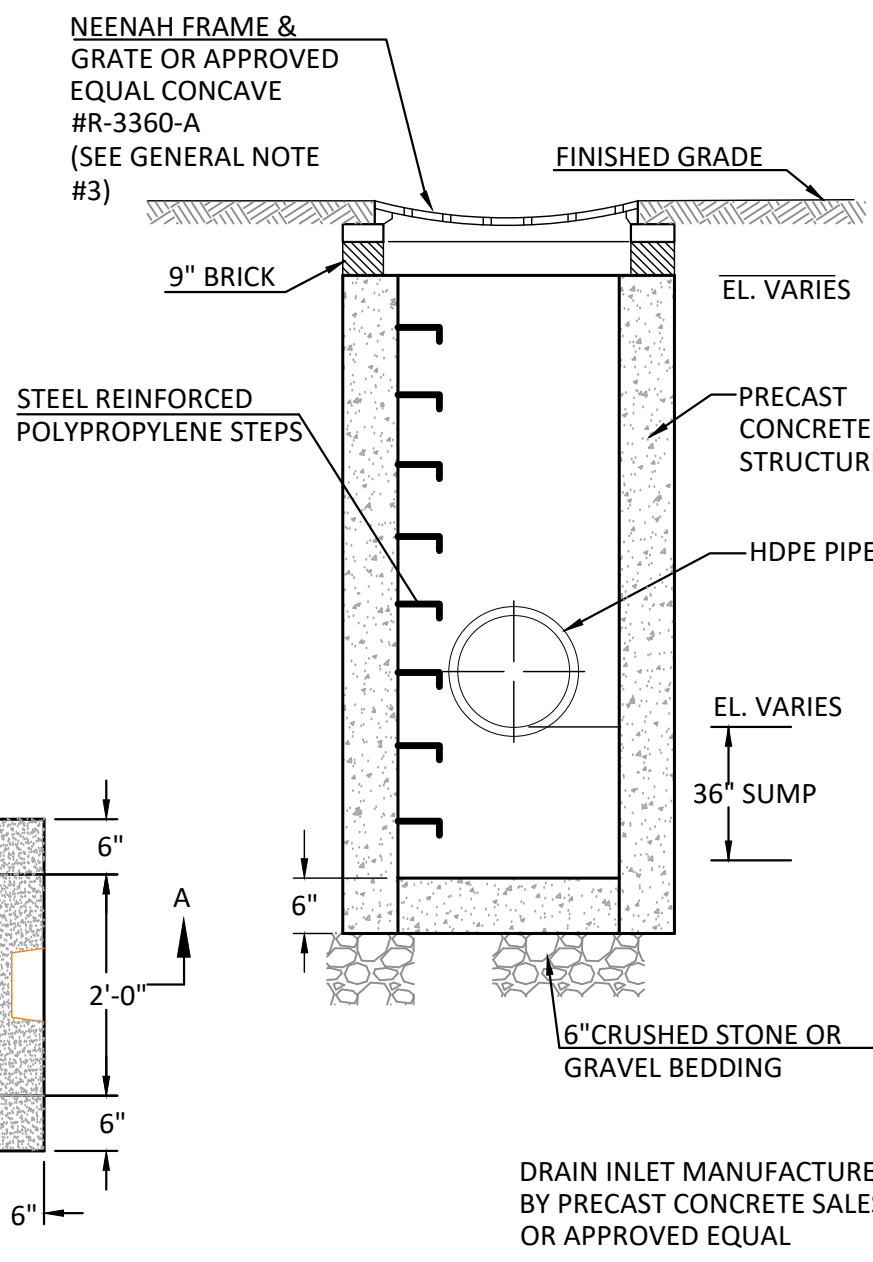
DRAIN INLET (CONCAVE GRATE) (N.T.S.)

GENERAL NOTES:

1. CONCRETE TO TEST 4000 P.S.I. @ 28 DAYS
2. REINFORCEMENT MEETS A.S.T.M. A-615, GRADE 60, A.S.T.M. A-185.
3. ALL DRAINAGE INLET STRUCTURES LOCATED IN PAVED OR GRAVELED AREAS TO HAVE FLAT GRATES. ALL OTHERS (WITHIN GRASS SWALES) TO RECEIVE CONCAVE GRATES.

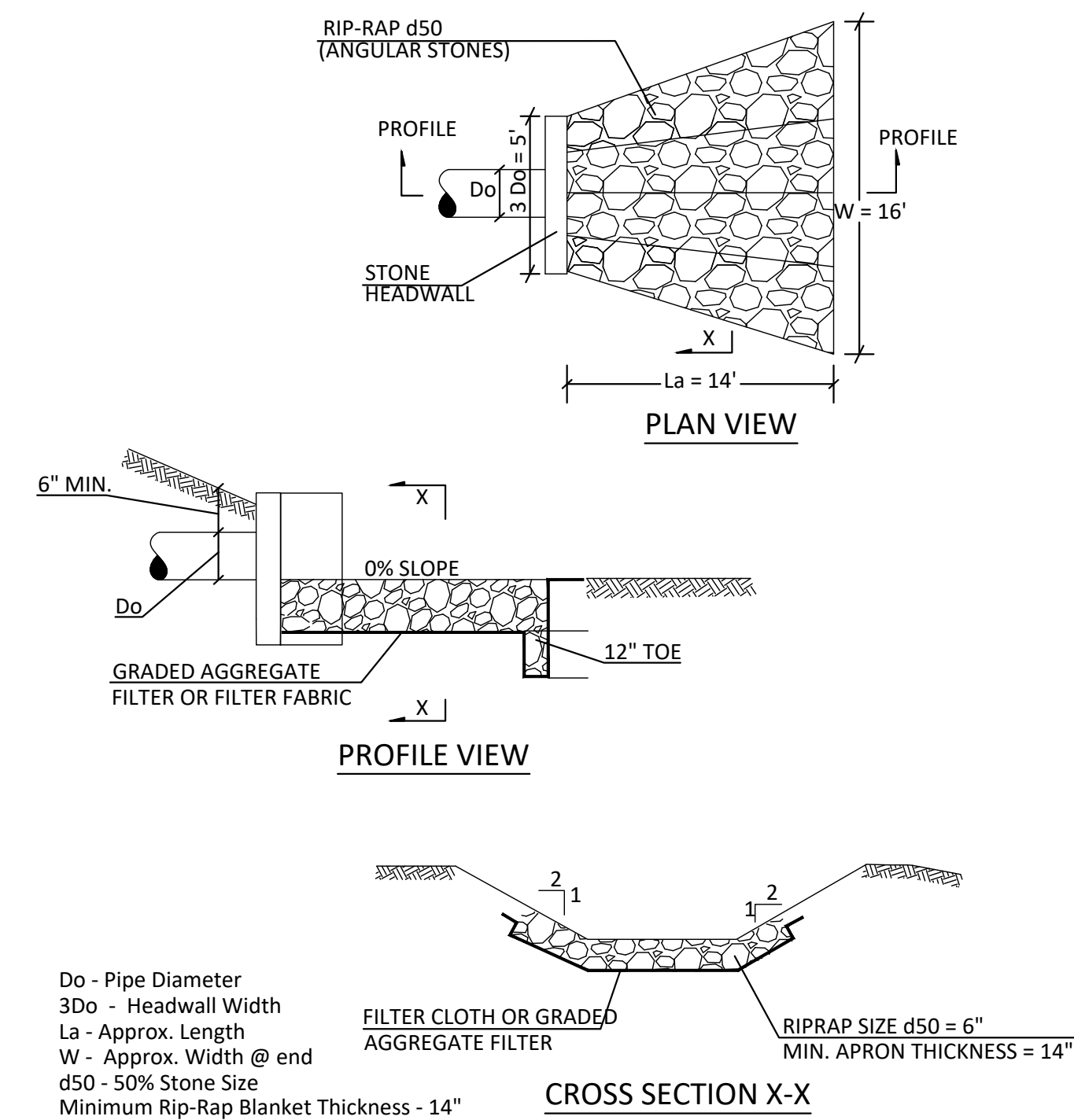


PLAN



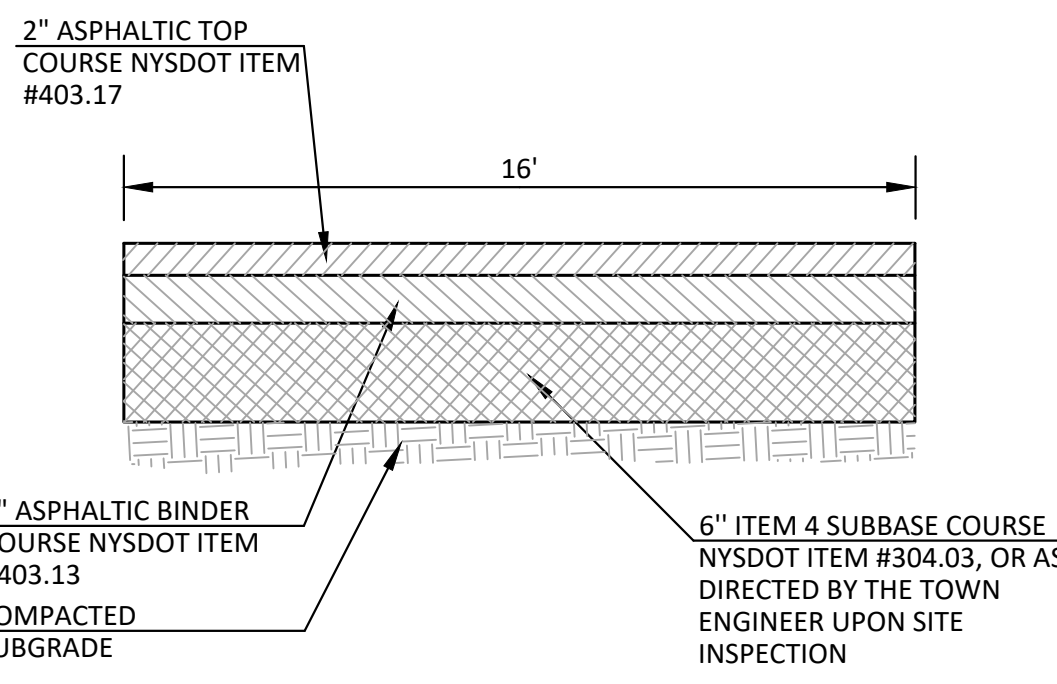
HS-20-44 LOADING DESIGN REQUIRED

RIP RAP OUTLET PROTECTION DETAIL (N.T.S.)



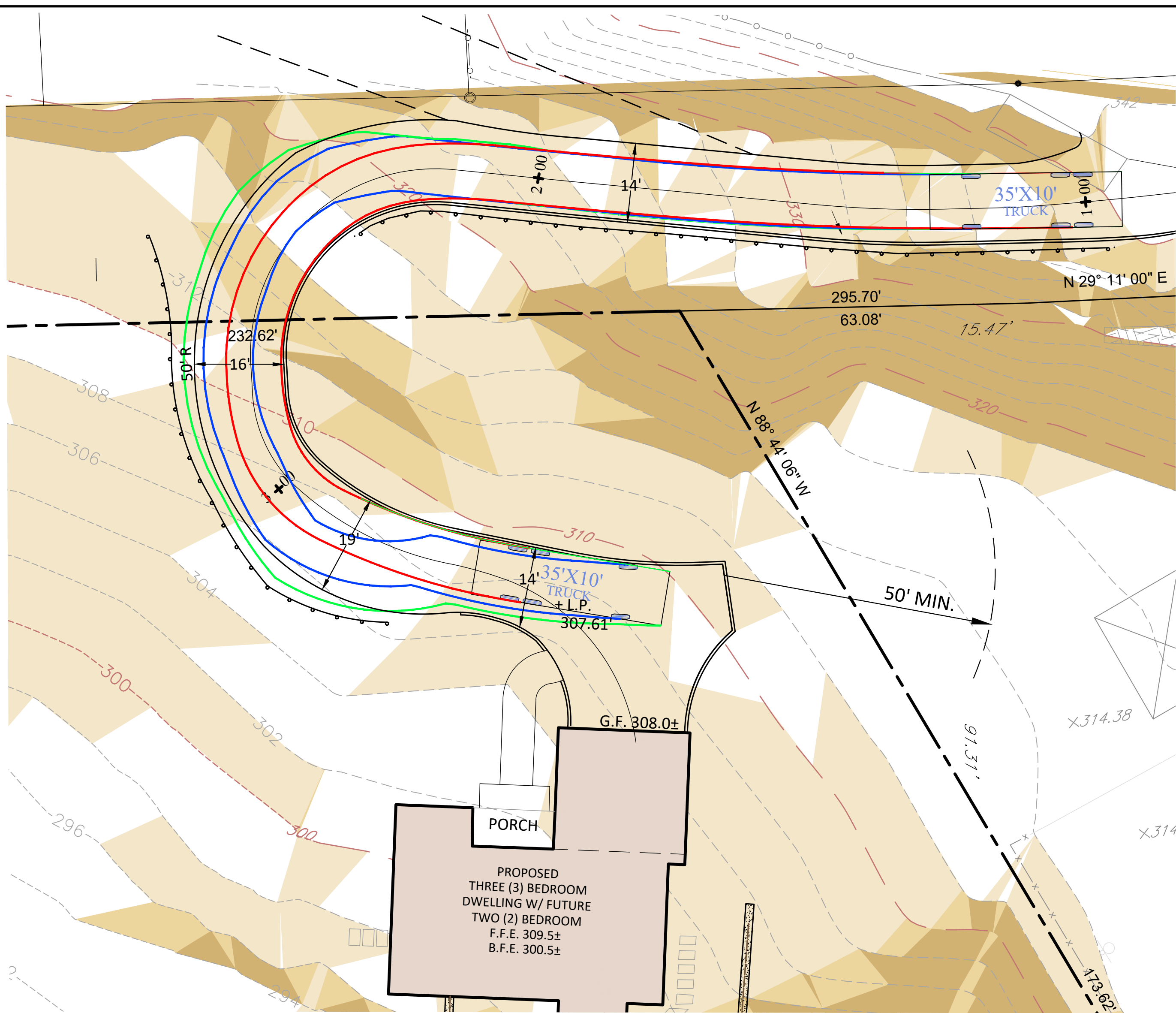
Do - Pipe Diameter
3Do - Headwall Width
La - Approx. Length
W - Approx. Width @ end
d50 - 50% Stone Size
Minimum Rip-Rap Blanket Thickness - 14"

COMMON DRIVEWAY SECTION DETAIL (N.T.S.)



NOTE:
TOWN ENGINEER SHALL DETERMINE THE APPROPRIATE COMMON DRIVEWAY DEPTH DURING FINAL SITE PLAN APPROVAL PROCESS.

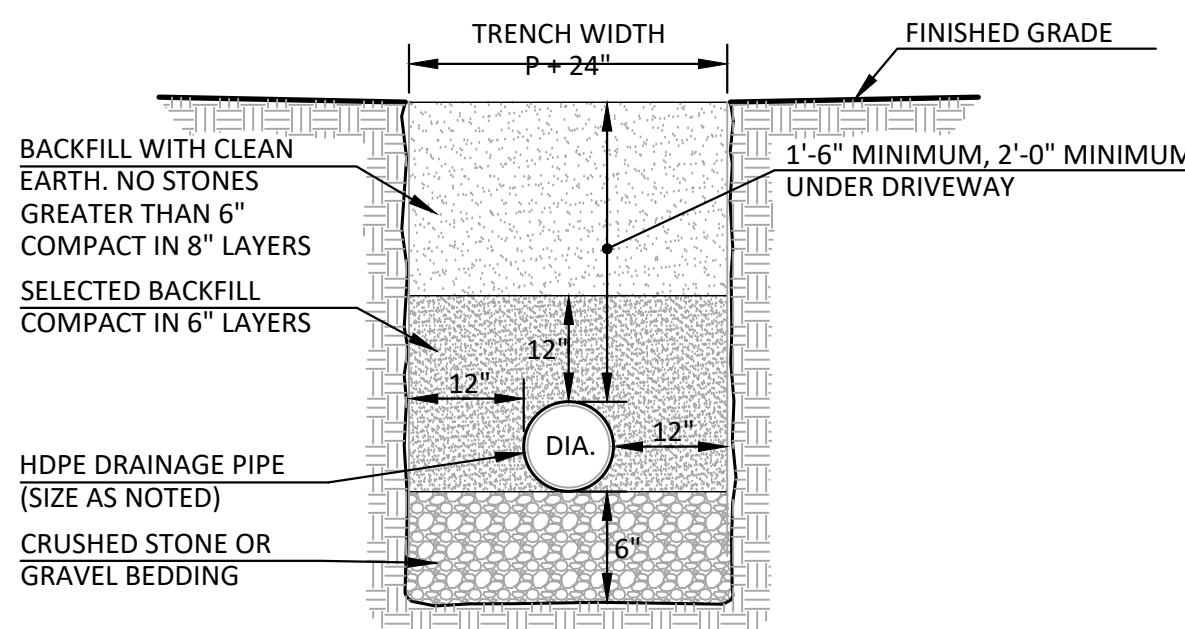
FIRE TRUCK TURNING DETAIL



LEGEND:
RED LINES: REAR WHEEL MOVEMENTS
BLUE LINES: FRONT WHEEL MOVEMENTS
GREEN LINES: FIRETRUCK OVERHANG

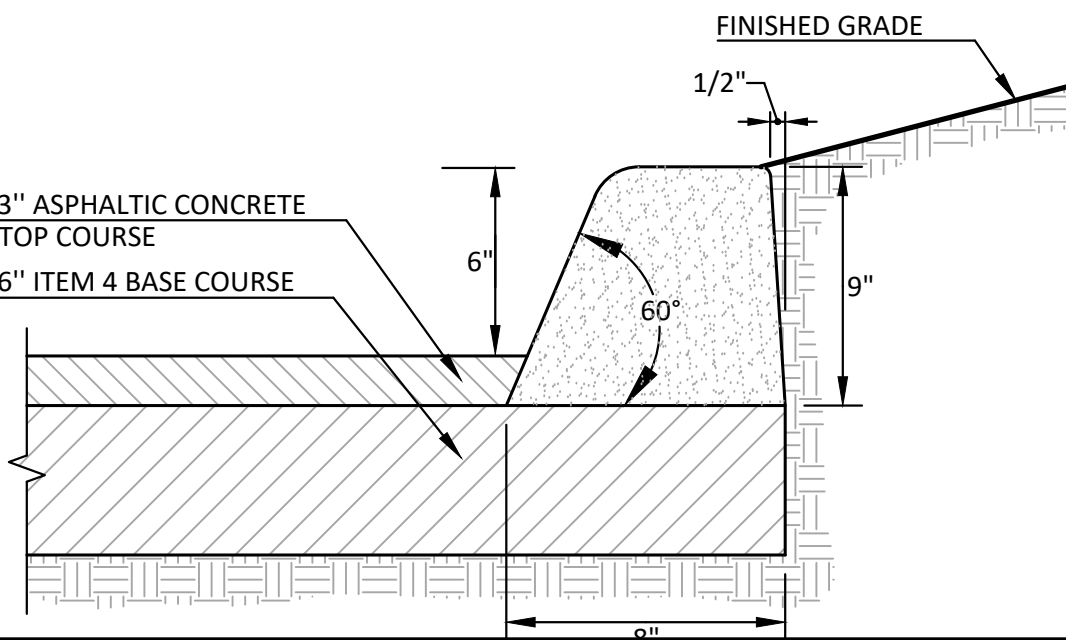
SCALE: 1" = 15'

DRAINAGE TRENCH DETAIL (N.T.S.)

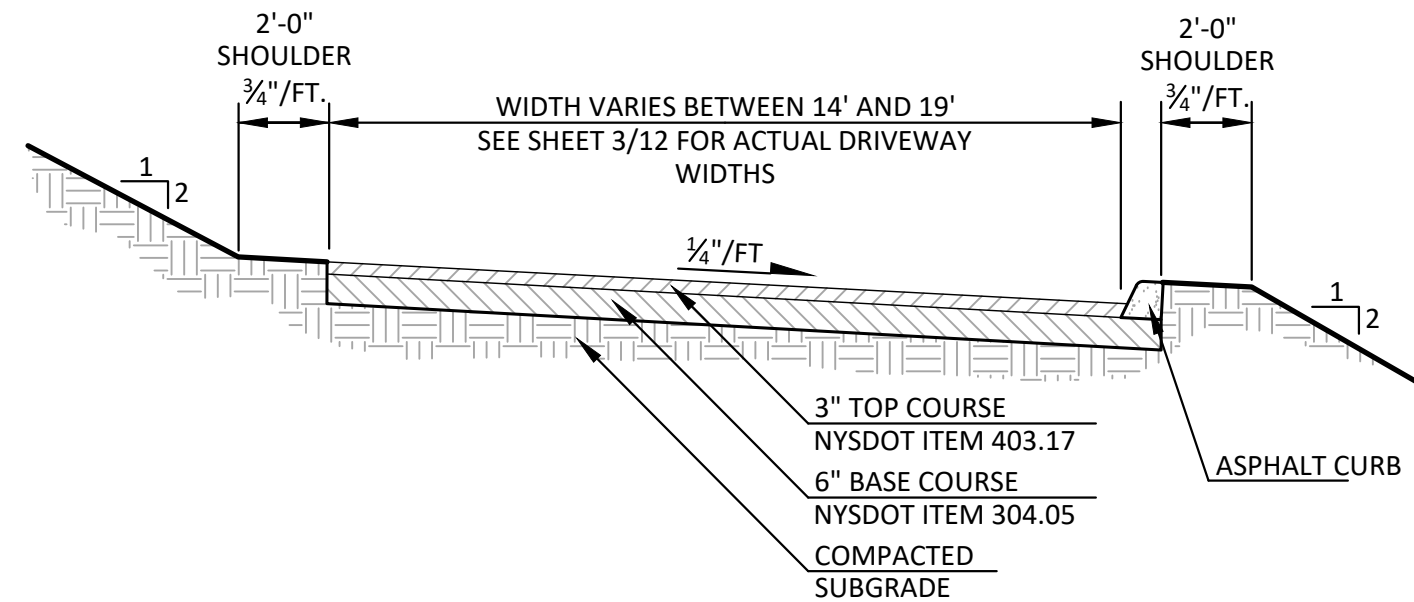


BACKFILL WITH CLEAN EARTH. NO STONES GREATER THAN 6" COMPACT IN 8" LAYERS
SELECTED BACKFILL COMPACT IN 6" LAYERS
HDPE DRAINAGE PIPE (SIZE AS NOTED)
CRUSHED STONE OR GRAVEL BEDDING

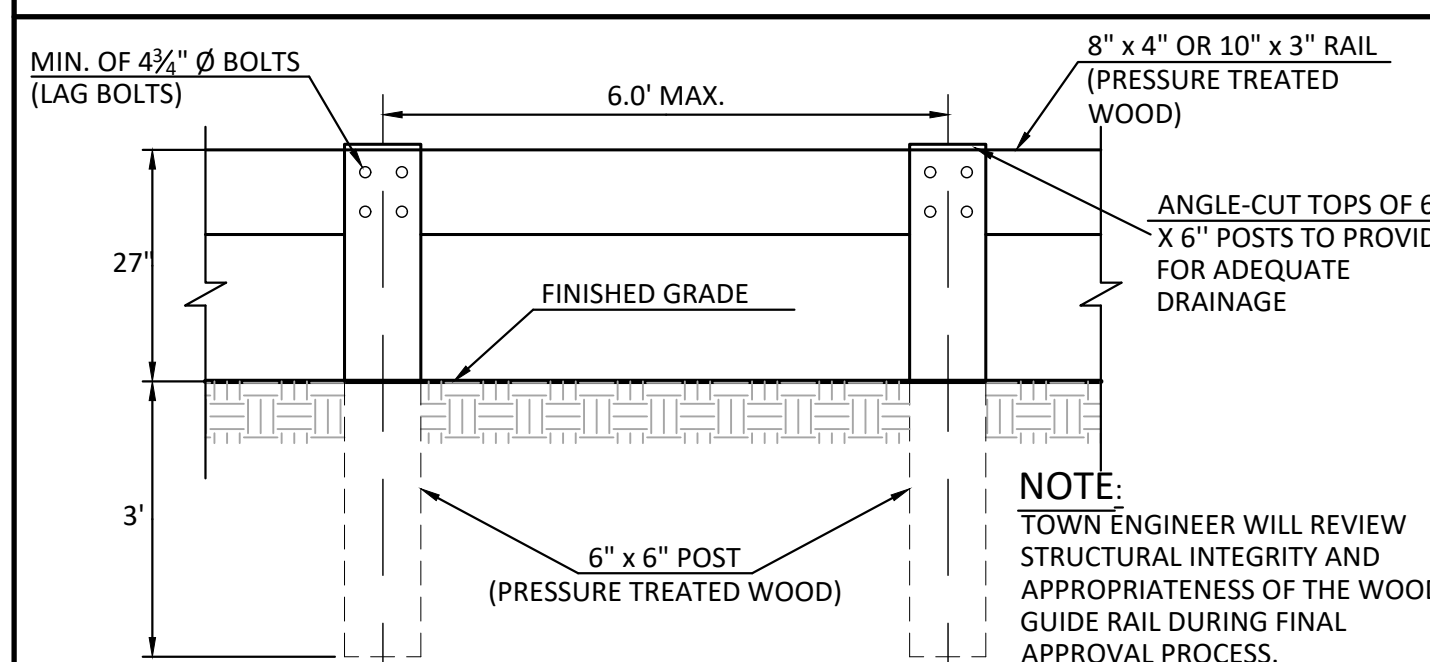
ASPHALTIC CONCRETE CURB DETAIL (N.T.S.) (FOR INDIVIDUAL DRIVEWAY ONLY)



INDIVIDUAL DRIVEWAY SECTION DETAIL (N.T.S.)

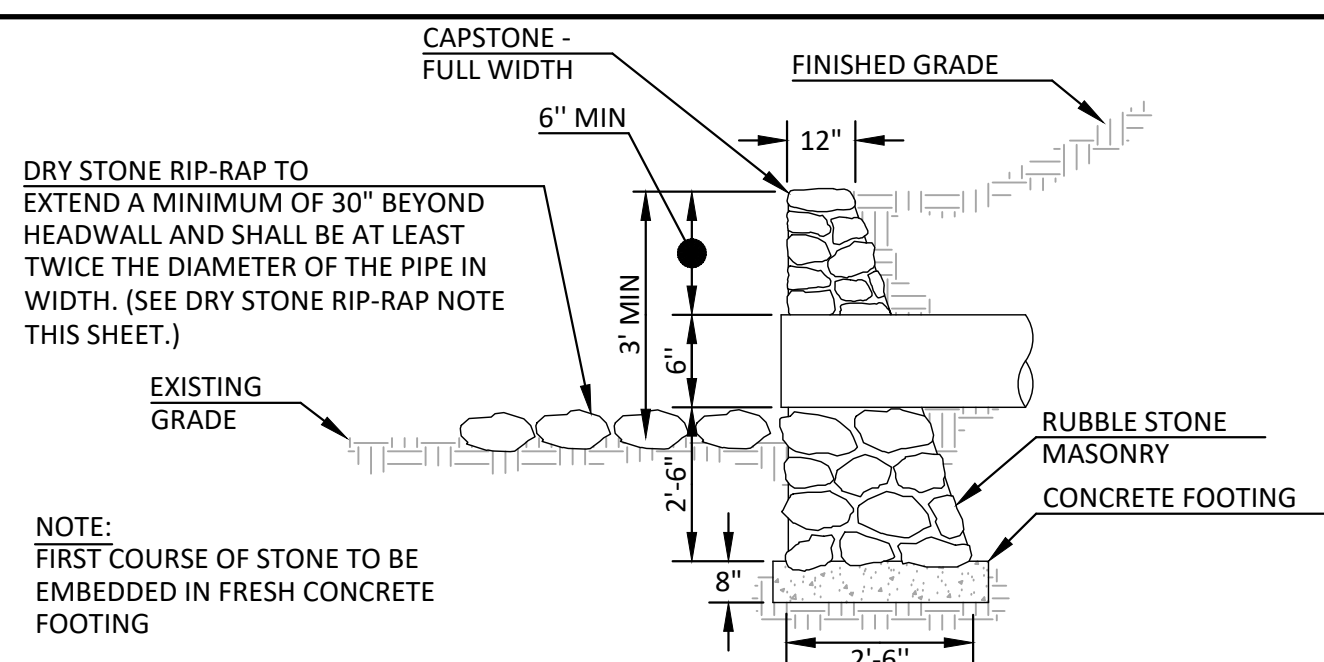


WOOD GUIDE RAIL DETAIL (N.T.S.)



NOTE:
TOWN ENGINEER WILL REVIEW STRUCTURAL INTEGRITY AND APPROPRIATENESS OF THE WOOD GUIDE RAIL DURING FINAL APPROVAL PROCESS.

STONE HEADWALL DETAIL (N.T.S.)



NOTE:
FIRST COURSE OF STONE TO BE EMBEDDED IN FRESH CONCRETE FOOTING

CONSTRUCTION DETAILS

HILLCREST DRIVE

TOWN OF OSSING		WESTCHESTER COUNTY, NEW YORK	
KSCJ CONSULTING RELLARD SESSIONS CERMIE JOHANNESSEN			
CIVIL ENGINEERING LANDSCAPE ARCHITECTURE SITE & ENVIRONMENTAL PLANNING			
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3.		PROJECT I.D.: OSSONOFRI0100	
2.		DATE: MARCH 01, 2024	
1.		APRIL 01, 2024 TOWN COMMENTS	
		REVISIONS	

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